



MEMORANDUM

DATE: April 30, 2019
TO: Design Committee Members
FROM: Cynthia Smith Strack, Community Development Director
RE: Item 4.3 New Commercial Construction – DGI Belle Plaine LLC (Dollar General)

REQUEST: Design Review Dollar General Retail Store

GENERAL INFORMATION

DGI Belle Plaine LLC has applied for approval of a general merchandise retail store at the northeast quadrant of the Main Street/Hickory Boulevard intersection. The property is zoned I-C Industrial Commercial District.

Attached please find site plans for reference. They include color elevations (please note it appears color is misleading), photo of a similar site, site plan, and landscaping plan along with other information. Also attached, please find a review memo included in the Planning Commission/City Council packet pertaining to the request. The review memo will provide substantial background information. Samples of building materials have been requested.

Design principals are to be addressed and considered: regionalism, context, scale & mass, composition, hierarchy, color, transformation, and simplicity. Summary information pertaining to those concepts as reviewed previously by the DC is attached.

Following are specific design elements to be reviewed:

1. Building architecture: buildings to feature 'four sided' architectural, traditional regional building materials are preferred, pleasing views from the street are a priority, and harmony within developments and surrounding locale is required.
2. Landscaping is to (a) emphasize street grid, (b) enhance the pedestrian experience, (c) complement architectural features, and (d) screen utility areas.
3. Parking is to feature (a) driveway location that is efficient and promotes proper circulation and (b) sufficient landscaping.
4. Lighting is to be functional and design oriented.

Applicant representatives are to attend the DC meeting.

REQUEST

Approval of design for new commercial building.

PROJECT NARRATIVE

For:

Dollar General Belle Plaine

PREPARED BY:



Point of Beginning

4941 KIRSCHLING COURT
STEVENS POINT, WI 54481
(715) 344-9999 ■ (715) 344-9922

Located in:

City of Belle Plaine
Scott County, Minnesota

Dated:

April 1, 2019

The proposed site plan being submitted is to develop an existing agricultural field into a new Dollar General. The new Dollar General will be a 7,500 square foot commercial retail building. The parcel of land that is being developed is in the new Jane Properties Subdivision. It is Lot 1, Block 2 which is a 1.64 acre lot at the NE corner of Hickory Blvd and County Highway 64. See Vicinity Map Attached (Exhibit 1a, 1b). The proposed site does not have an address at this point.

The architect for Dollar General has revised the prototype elevations to more closely match the City of Belle Plaine material class requirements (Exhibit 2). A copy of the prototype building elevations is included for reference to display the upgrades to the building (Exhibit 3). The upgrades include adding masonry at the front entrance up to the 10'-0", as well as adding a tower type element to the elevation facing County Highway 64, which also includes an additional sign. Additional landscaping was also added to the north, west and east sides of the building to create a more aesthetically pleasing site and to compliment the upgrades to the building elevations.

The project is scheduled to begin before the end of April and is expected to be to be completed before September 15, 2019.

Note: The executed offer to purchase is attached to the end of this packet (Exhibit 4).



Proposed Dollar General Site at the NE Corner of Hickory Blvd and County Hwy 64



Imagery ©2019 Google, Map data ©2019 Google 500 ft



BENCHMARK:

ELEVATIONS ARE REFERENCED TO NAVD 88 DATUM.

BENCHMARK #1
SOUTHWEST TOP FLANGE BOLT ON HYDRANT, LOCATED ON SOUTHEAST SIDE OF HWY 64/HICKORY BLVD INTERSECTION
ELEVATION = 858.38
BENCHMARK #2
60D SPIKE IN SW SIDE OF UTILITY POLE. POLE IS LOCATED SE OF THE PROPOSED SITE ON THE SOUTH SIDE OF HWY 64
ELEVATION = 857.17

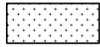
GENERAL NOTES:

1. CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
2. ALL DEMOLITION MATERIALS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER EXCEPT FOR THOSE ITEMS NOTED TO BE SALVAGED, WHICH SHOULD BE TURNED OVER TO THE OWNER.
3. INSTALL AND MAINTAIN ALL REQUIRED EROSION CONTROL MEASURES FOR PERIMETER PROTECTION PRIOR TO THE START OF DEMOLITION/CONSTRUCTION, IN ACCORDANCE WITH THE LOCAL AND STATE GOVERNING AUTHORITIES.
4. ALL BIDDERS PLANNING ON SUBMITTING A BID SHALL VISIT THE SITE AND REVIEW THE EXISTING CONDITIONS PRIOR TO THE BID DATE.
5. COORDINATE WITH THE OWNER AND LOCAL UTILITY COMPANIES TO LOCATE ANY EXISTING UTILITIES ON SITE PRIOR TO THE START OF WORK.
6. ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED AND OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE GRADING CONTRACTOR AND INCLUDED IN THE BASE BID CONTRACT.
7. STRIP TOPSOIL WITHIN THE PROJECT LIMITS IN ACCORDANCE WITH THE PROJECT MANUAL SPECIFICATIONS.
8. IF STRIPPED TOPSOIL IS STOCKPILED ON SITE, SILT FENCE SHALL BE INSTALLED AROUND THE BASE OF THE STOCKPILE TO PREVENT SEDIMENT TRANSPORT.
9. PRIOR TO PERFORMING WORK WITHIN PUBLIC RIGHT OF WAYS, NOTIFY AND COORDINATE WORK WITH THE LOCAL MUNICIPALITY.

KEYNOTES:

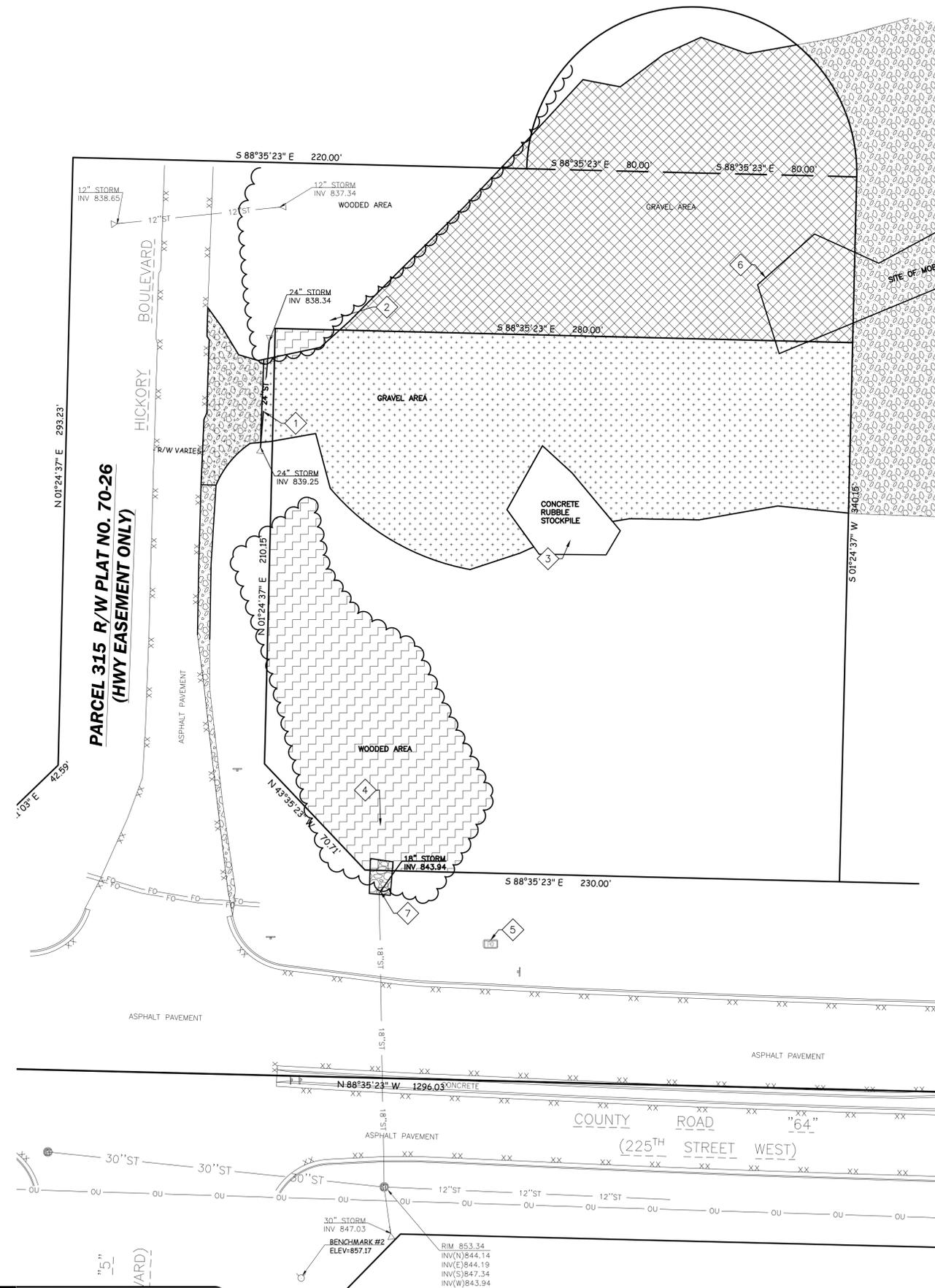
- 1 REMOVE EXISTING CULVERT & ENDWALLS
- 2 CLEAR AND GRUB EXISTING TREES (BY OTHERS)
- 3 CONCRETE RUBBLE STOCKPILE TO BE REMOVED BY OTHERS PRIOR TO CONSTRUCTION
- 4 MAINTAIN EXISTING STORM SEWER STRUCTURE
- 5 MAINTAIN FIBER OPTIC UTILITY
- 6 EXISTING CONCRETE PLANT TO BE REMOVED BY OTHERS
- 7 EXISTING APRON ENDWALL, RIPRAP TO BE REMOVED & REPLACED BY STORM STRUCTURE. BY OTHERS

DEMOLITION HATCH PATTERNS:

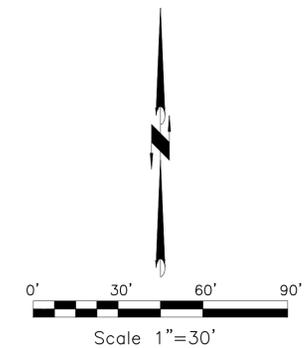
- GRAVEL REMOVAL 
- OFFSITE GRAVEL REMOVAL (BY OTHERS) 
- CLEAR AND GRUB EXISTING TREES 

CIVIL SHEET INDEX:

1. DEMOLITION PLAN
2. LAYOUT PLAN
3. GRADING PLAN
4. EROSION CONTROL PLAN
5. UTILITY PLAN
6. LANDSCAPE PLAN
7. DETAILS



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REVISIONS	

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
Date: _____
James J. Lundberg, P.E.
Registration No. 44630

CHECKED:	JJL
DRAWN:	RDE
DATE:	04-17-2019
PROJECT NO.:	17.035

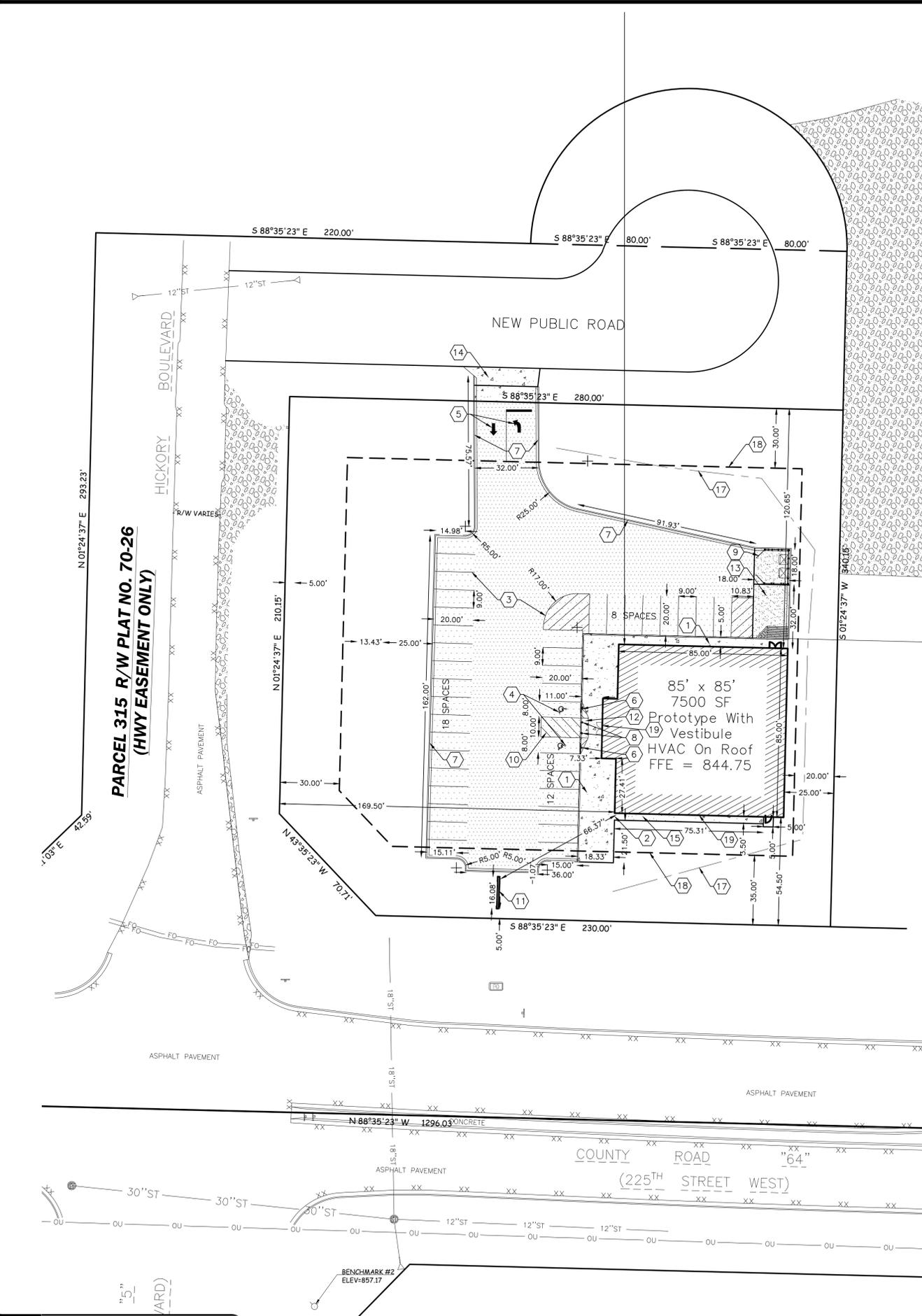
DEMOLITION PLAN

PRELIMINARY PLANS
DGI-BELLE PLAINE, LLC
DOLLAR GENERAL
CITY OF BELLE PLAINE
SCOTT COUNTY, MINNESOTA

Civil Engineering
Land Surveying
Landscape Architecture
5709 Windy Drive, Suite D
Stevens Point, WI 54482
715.344.9999 (Ph) 715.344.9922 (FX)

POB
Point of Beginning

SHEET
1
OF 7



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BENCHMARK:

ELEVATIONS ARE REFERENCED TO NAVD 88 DATUM.
BENCHMARK #1
 SOUTHWEST TOP FLANGE BOLT ON HYDRANT, LOCATED ON SOUTHEAST SIDE OF HWY 64/HICKORY BLVD INTERSECTION
 ELEVATION = 858.38
BENCHMARK #2
 60D SPIKE IN SW SIDE OF UTILITY POLE. POLE IS LOCATED SE OF THE PROPOSED SITE ON THE SOUTH SIDE OF HWY 64
 ELEVATION = 857.17

KEYNOTES:

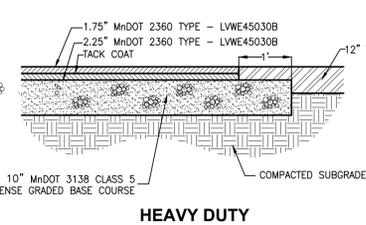
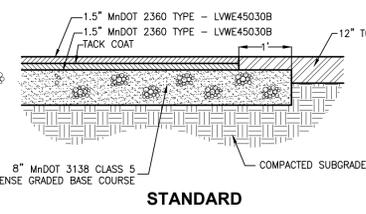
- ① THICKENED EDGE WALK
- ② END OF THICKENED EDGE WALK
- ③ PARKING LOT STRIPING
- ④ HANDI-CAP STALL
- ⑤ DIRECTIONAL ARROW
- ⑥ HANDI-CAP PARKING SIGN
- ⑦ 18" CONCRETE CURB & GUTTER
- ⑧ CONCRETE BOLLARD
- ⑨ 18' DEEP x 18' WIDE TRASH ENCLOSED FENCE (INCL. GATE)
- ⑩ ADA ACCESS ROUTE
- ⑪ PROPOSED PYLON SIGN
- ⑫ HANDI-CAP RAMP
- ⑬ 18' DEEP x 27' WIDE CONCRETE PAD FOR DELIVERY
- ⑭ CONCRETE ENTRANCE APRON COORDINATE LOCATION W/ STREET CONTRACTOR
- ⑮ CONCRETE SIDEWALK
- ⑯ TOPSOIL SPOILS PILE/LANDSCAPE BERM
- ⑰ DITCH FLOW LINE
- ⑱ SETBACKS PER ORDINANCE
- ⑲ SIGN ATTACHED TO BUILDING

PAVEMENT HATCH PATTERNS:

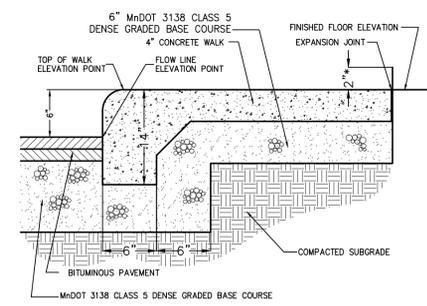
- PROPOSED 3" ASPHALT PAVEMENT
- PROPOSED 4" ASPHALT PAVEMENT
- PROPOSED 8" REINFORCED CONCRETE PAVEMENT
- PROPOSED 4" CONCRETE SIDEWALK

GENERAL NOTES:

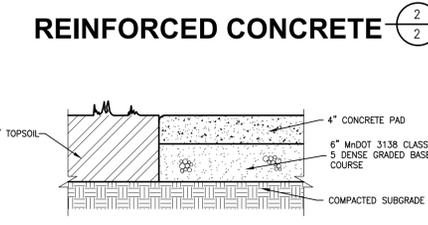
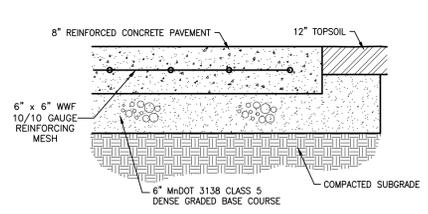
1. CONTACT GOPHER STATE ONE CALL (651-454-0002) 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
2. GRADE, LINE, AND LEVEL TO BE REVIEWED IN THE FIELD BY THE CONSTRUCTION MANAGER.
3. ALL REQUIRED EROSION CONTROL MEASURES ARE TO BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH LOCAL MUNICIPAL AND DEPARTMENT OF NATURAL RESOURCES REGULATIONS.
4. SEE SHEET 4 FOR ALL REQUIRED EROSION CONTROL ELEMENTS.
5. ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED AND OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE GRADING CONTRACTOR AND INCLUDED IN THE BASE BID CONTRACT.
6. VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
7. ALL BIDDERS PLANNING ON SUBMITTING A BID SHALL VISIT THE SITE AND REVIEW THE EXISTING CONDITIONS PRIOR TO THE BID DATE.
8. PRIOR TO THE START OF WORK VERIFY WITH THE LOCAL AUTHORITIES THAT ALL REQUIRED PERMITS HAVE BEEN ACQUIRED.
9. COORDINATE CONSTRUCTION IN THE RIGHT OF WAY WITH THE LOCAL AUTHORITIES.
10. PROVIDE PROPER BARRICADES, SIGNS AND TRAFFIC CONTROL TO MAINTAIN THRU TRAFFIC ALONG ADJACENT STREETS IN ACCORDANCE WITH LOCAL MUNICIPAL REQUIREMENTS.
11. SIDEWALK JOINTS TO BE AS INDICATED OR AS APPROVED BY CONSTRUCTION MANAGER.
12. ALL SAWCUTS SHALL BE AT AN EXISTING JOINT IN THE CURB AND PAVEMENT.
13. ALL GENERAL LANDSCAPE AREAS SHALL BE SEEDED/FERTILIZED/GRIMP HAY MULCHED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
14. COORDINATE WITH STREET CONTRACTOR FOR SITE ACCESS. ALL SITE ACCESS MUST BE VIA THE PUBLIC RIGHT OF WAY.



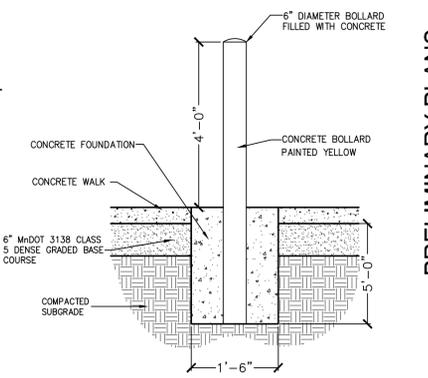
ASPHALT PAVEMENT



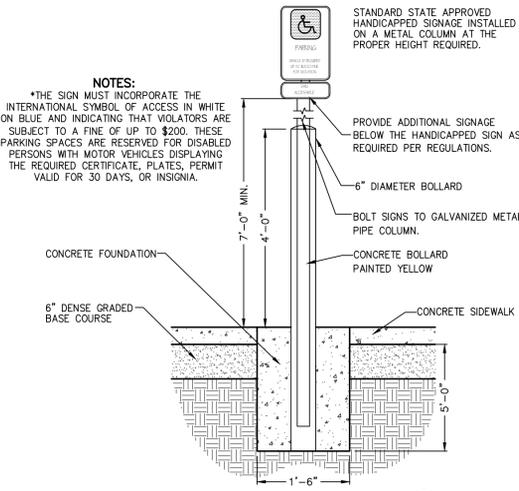
THICKENED EDGE WALK



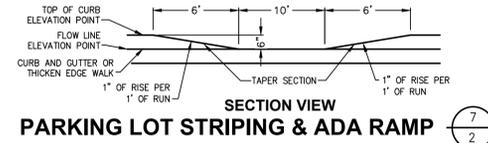
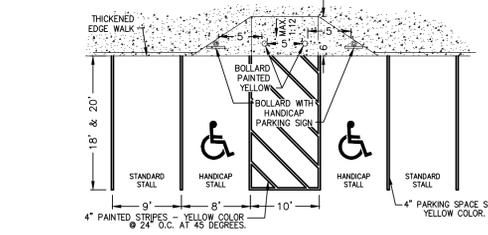
SIDEWALK



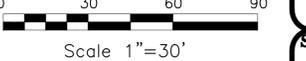
CONCRETE BOLLARD



HANDICAP SIGN



PARKING LOT STRIPING & ADA RAMP



REVISIONS

4/8/19	ADD PERIMETER CURB
--------	--------------------

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Date: _____
 James J. Lundberg, P.E.
 Registration No. 44630

CHECKED: JLL
 DRAWN: RDE
 DATE: 04-17-2019
 PROJECT NO. 17.035

LAYOUT PLAN

PRELIMINARY PLANS

DGI-BELLE PLAINE, LLC
DOLLAR GENERAL
CITY OF BELLE PLAINE
SCOTT COUNTY, MINNESOTA

Civil Engineering
 Land Surveying
 Landscape Architecture

5709 Windy Drive, Suite D
 Stevens Point, WI 54482
 715.344.9999 (Ph) 715.344.9922 (FX)

BENCHMARK:

ELEVATIONS ARE REFERENCED TO NAVD 88 DATUM.

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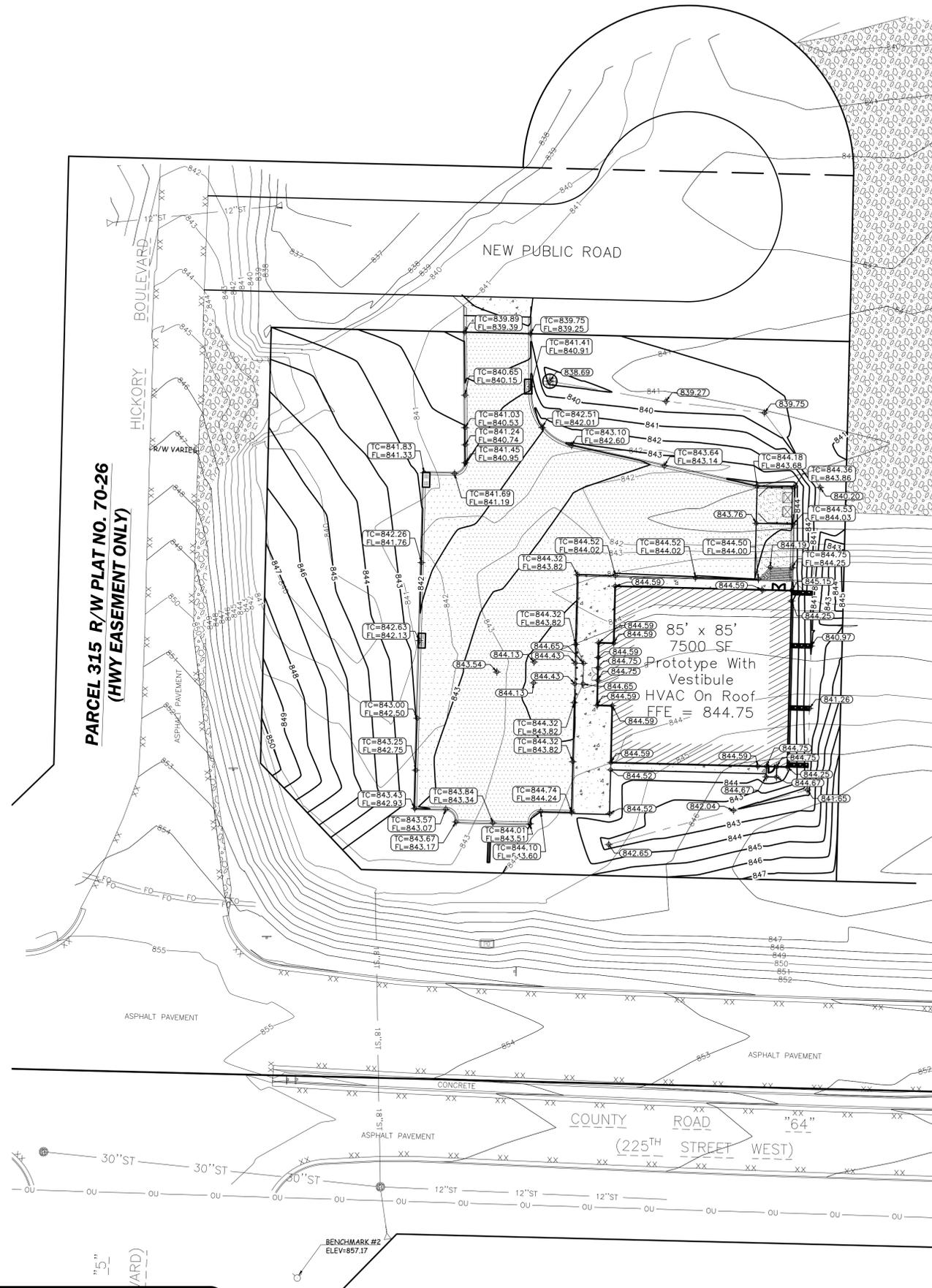
BENCHMARK #2
60D SPIKE IN SW SIDE OF UTILITY POLE. POLE IS LOCATED SE OF THE PROPOSED SITE ON THE SOUTH SIDE OF HWY 64
ELEVATION = 857.17

GENERAL NOTES:

- CONTACT GOPHER STATE ONE CALL (651-454-0002) 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
- THE PROPOSED SITE PLAN FINISH FLOOR ELEVATION OF 844.75 EQUALS THE PROPOSED BUILDING ARCHITECTURAL FINISH FLOOR ELEVATION OF 100.00'.
- GRADE, LINE, AND LEVEL TO BE REVIEWED IN THE FIELD BY THE CONSTRUCTION MANAGER.
- ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED AND OR ADJUSTED SHALL BE COORDINATED WITH THE APPLICABLE UTILITY.
- INSTALL AND MAINTAIN ALL REQUIRED EROSION CONTROL MEASURES IN ACCORDANCE WITH MINNESOTA POLLUTION CONTROL AGENCY AND LOCAL AUTHORITIES AND THE DEPARTMENT OF NATURAL RESOURCES REGULATIONS.
- 12" OF TOPSOIL SHALL BE PROVIDED IN ALL GENERAL LAWN AREAS AND PLANTING BED AREAS.
- SEE SHEET 4 FOR ALL REQUIRED EROSION CONTROL ELEMENTS.
- ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED AND OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE GRADING CONTRACTOR AND INCLUDED IN THE BASE BID CONTRACT.
- COORDINATE ALL EARTHWORK ACTIVITIES WITH GAS, ELECTRIC, (INCLUDING MAIN SERVICE, SITE LIGHTING, CONDUITS AND SIGNAGE) CABLE AND TELEPHONE CONSTRUCTION AND RESPECTIVE TRADES FOR THE INSTALLATION OF SAID UTILITIES.
- EXCESS TOPSOIL SHALL BE STOCKPILED AND STORED ONSITE FOR FUTURE USE, UNLESS OTHERWISE DIRECTED BY THE OWNER. SILT FENCE SHALL BE PLACED AROUND STOCKPILE.
- ALL TESTING AND INSPECTION SHALL BE DONE IN ACCORDANCE WITH MINNESOTA PLUMBING CODE.
- THE LOCAL MUNICIPALITY SHALL BE CONTACTED PRIOR TO ANY EXCAVATION IN THE PUBLIC RIGHT-OF-WAY. THE CONTRACTOR SHALL HAVE HIS TRAFFIC CONTROL PLAN APPROVED PRIOR TO WORK COMMENCING. THE LOCAL MUNICIPALITY SHALL OPERATE ALL EXISTING WATER VALVES IF NEEDED.
- GRADES AT BUILDING EDGE SHALL BE 6" BELOW FINISHED FLOOR ELEVATION EXCEPT AT DOOR WAY ENTRANCES OR UNLESS OTHERWISE NOTED.

GRADING LEGEND:

EXISTING CONTOUR	928
PROPOSED CONTOUR	931
PROPOSED SPOT ELEVATION	892.25
PROPOSED RIM ELEVATION	893.55
PROPOSED TOP OF CURB ELEVATION	893.55
PROPOSED FLOW LINE ELEVATION	893.55
PROPOSED MATCH ELEVATION (CONTRACTOR TO VERIFY)	892.05
PROPOSED STORM INLET	1/5



REVISIONS

4/8/19	ADD PERIMETER CURB
--------	--------------------

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Date: _____
James J. Lundberg, P.E.
Registration No. 44630

CHECKED:	JLL
DRAWN:	RDE
DATE:	04-17-2019
PROJECT NO.	17.035

GRADING PLAN

PRELIMINARY PLANS

DGI-BELLE PLAINE, LLC
DOLLAR GENERAL
CITY OF BELLE PLAINE
SCOTT COUNTY, MINNESOTA

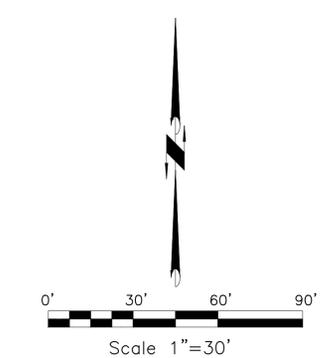
Civil Engineering
Land Surveying
Landscape Architecture

5709 Windy Drive, Suite D
Stevens Point, WI 54482
715.344.9999 (Ph) 715.344.9922 (FX)

POB Point of Beginning

SHEET **3** OF 7

POINT OF BEGINNING, INC. HOLDS THE RIGHTS TO COPYRIGHT IN AND TO THESE PRINTS, DRAWINGS AND DOCUMENTS. NO REPRODUCTION, COPYING, ALTERATION, MODIFICATION, USAGE, INCORPORATION INTO OTHER DOCUMENTS OR ASSIGNMENT OF THE SAME MAY OCCUR WITHOUT THE PRIOR WRITTEN PERMISSION OF POINT OF BEGINNING, INC.
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BENCHMARK:

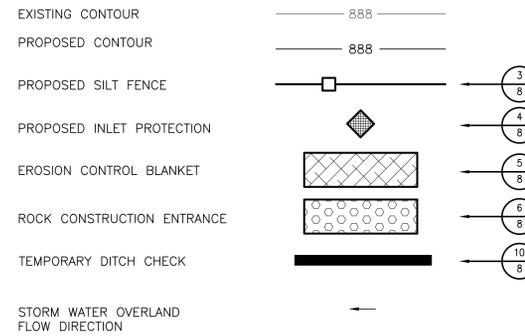
ELEVATIONS ARE REFERENCED TO NAVD 88 DATUM.

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ELEVATION = 858.38
BENCHMARK #2
60D SPIKE IN SW SIDE OF UTILITY POLE. POLE IS LOCATED SE OF THE PROPOSED SITE ON THE SOUTH SIDE OF HWY 64
ELEVATION = 857.17

GENERAL NOTES:

- CONTACT GOPHER STATE ONE CALL (651-454-0002) 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
- NOTIFY THE LOCAL MUNICIPALITY AT LEAST 2 WORKING DAYS PRIOR TO THE START OF SOIL DISTURBING ACTIVITIES.
- INSTALL ALL TEMPORARY EROSION CONTROL ELEMENTS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
- ALL ACTIVITIES SHALL BE CONDUCTED IN A LOGICAL SEQUENCE AS TO MINIMIZE THE AMOUNT OF BARE SOIL EXPOSED AT ANY ONE TIME. MAINTAIN EXISTING VEGETATION AS LONG AS POSSIBLE.
- CRUSHED ROCK DRIVES FOR SEDIMENT TRACKING UTILIZING 3" CRUSHED ROCK SHALL BE MAINTAINED AT ALL CONSTRUCTION ENTRANCES TO THE SITE. THE ROCK DRIVE SHALL BE A MINIMUM OF 12" THICK AND BE A MINIMUM OF 50 FEET IN LENGTH BY THE WIDTH OF THE DRIVEWAY.
- OFF SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF A STORM EVENT SHALL BE CLEANED UP BY THE END OF THE NEXT WORK DAY. ALL OFF SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION ACTIVITIES, INCLUDING SOIL TRACKED BY CONSTRUCTION TRAFFIC, SHALL AT A MINIMUM BE CLEANED BY THE END OF EACH WORK DAY. EXCESSIVE AMOUNTS OF SEDIMENT OR OTHER DEBRIS TRACKED ONTO ADJACENT STREETS SHALL BE CLEANED BY THE END OF EACH WORK DAY. EXCESSIVE AMOUNTS OF SEDIMENT OR OTHER DEBRIS TRACKED ONTO ADJACENT STREETS SHALL BE CLEANED IMMEDIATELY. FINE SEDIMENT ACCUMULATIONS SHALL BE CLEANED FROM ADJACENT STREETS BY THE USE OF MECHANICAL OR MANUAL SWEEPING OPERATIONS ONCE A WEEK AT A MINIMUM AND BEFORE IMMINENT RAIN EVENTS.
- DISTURBED GROUND OUTSIDE OF THE EVERYDAY CONSTRUCTION AREAS, INCLUDING SOIL STOCKPILES, THAT ARE LEFT INACTIVE FOR MORE THAN 7 DAYS SHALL BE TEMPORARILY STABILIZED BY SEEDING/MULCHING OR OTHER APPROVED METHODS.
- WASTE MATERIAL THAT IS GENERATED ON THE CONSTRUCTION SITE SHALL BE PROPERLY DISPOSED OF AND NOT ALLOWED TO RUN INTO RECEIVING WATERS.
- EROSION CONTROL DEVICES DESTROYED AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE END OF EACH WORK DAY.
- INSPECT ALL EROSION CONTROL MEASURES AT LEAST ONCE A WEEK AND AFTER ANY RAINFALL OF 0.5" OR MORE. MAKE NEEDED REPAIRS AND DOCUMENT ALL ACTIVITIES AS PER THE REQUIREMENTS OF THE NOTICE OF INTENT SUBMITTED BY THE PROJECT CIVIL ENGINEER.
- ALL TEMPORARY EROSION CONTROL ELEMENTS SHALL REMAIN IN PLACE UNTIL A SUFFICIENT GROWTH OF VEGETATION IS ESTABLISHED AND THEN BE REMOVED AS PART OF THE BASE BID.
- IF SEDIMENT LADEN WATER NEEDS TO BE REMOVED FROM THE SITE, FILTER BAGS OR SCREENING SHALL BE USED IN ACCORDANCE WITH THE WI DNR TECHNICAL STANDARDS 1061 TO PREVENT THE DISCHARGE OF SEDIMENT TO THE MAXIMUM EXTENT PRACTICABLE.
- IF BARE SOIL IS EXPOSED DURING THE WINTER MONTHS, STABILIZATION BY MULCHING OR ANIONIC POLYACRYLAMIDE SHALL OCCUR PRIOR TO SNOW OR FROZEN GROUND.
- SILT FENCE SHALL BE INSTALLED AROUND THE TOPSOIL STOCKPILE.
- THE CONTRACTOR SHALL PERFORM INSPECTIONS AND MONITORING OF EROSION CONTROL PRACTICES IN ACCORDANCE WITH THE MINNESOTA GENERAL PERMIT PART IV, "CONSTRUCTION ACTIVITY REQUIREMENTS"
- SEED, FERTILIZE, AND CRIMP HAY MULCH OR PLACE EROSION MAT AS SHOWN ON ALL GENERAL LANDSCAPE AREAS DISTURBED DURING CONSTRUCTION.

EROSION CONTROL LEGEND:

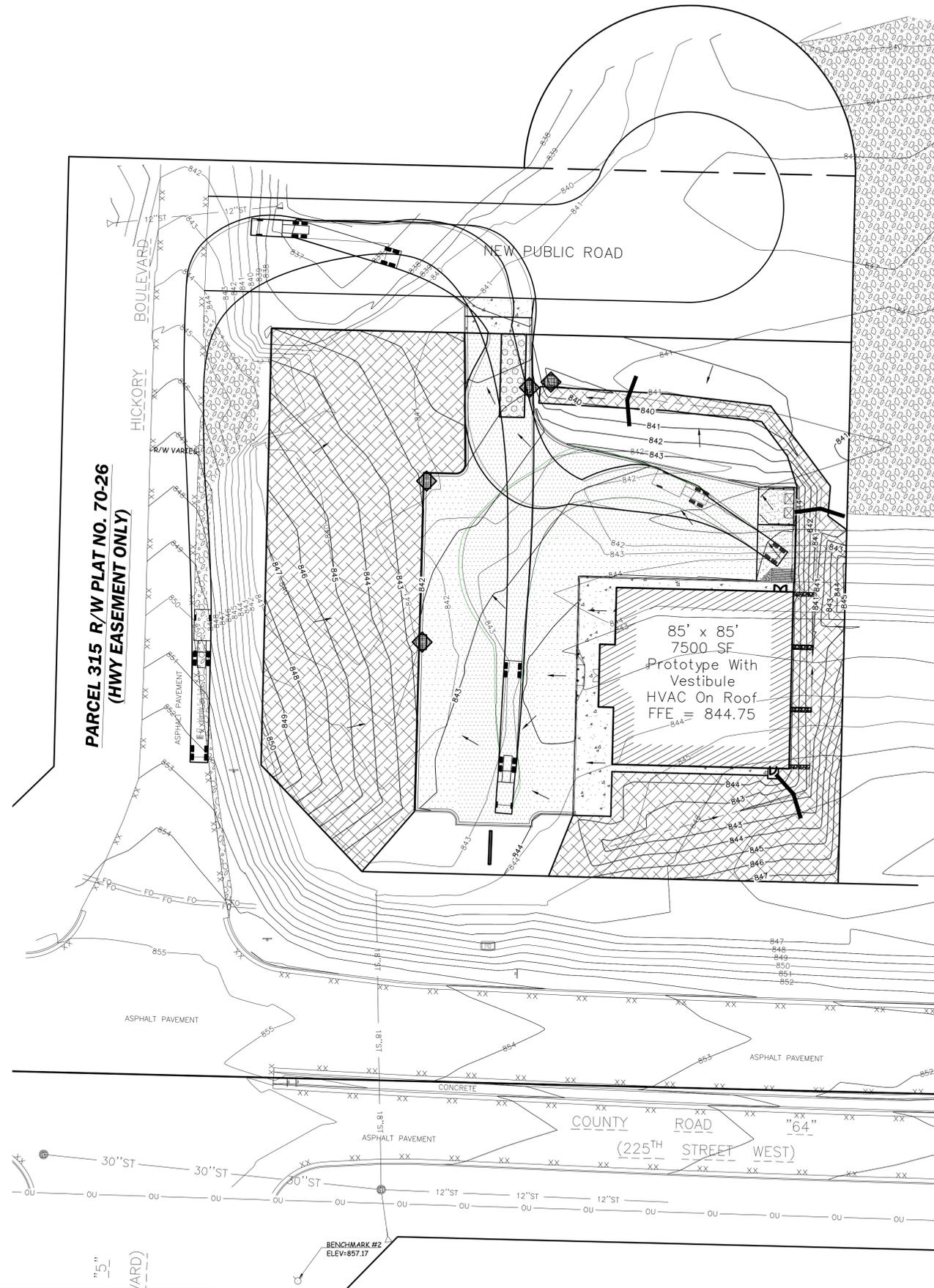


EROSION CONTROL SEQUENCING

- INSTALL PERIMETER EROSION CONTROL
- BEGIN DEMOLITION
- BEGIN ROUGH GRADING AND UTILITY INSTALLATION
- DURING GRADING ACTIVITIES EXISTING GRASS AND VEGETATION, TO BE REMOVED, SHALL REMAIN IN PLACE FOR AS LONG AS POSSIBLE, TO AVOID SEDIMENT TRANSPORT.
- TEMPORARY STABILIZATION ACTIVITY SHALL COMMENCE WHEN LAND DISTURBING CONSTRUCTION ACTIVITIES HAVE TEMPORARILY CEASED AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS
- FINAL STABILIZATION ACTIVITY SHALL COMMENCE WHEN LAND DISTURBING ACTIVITIES CEASE AND FINAL GRADE HAS BEEN REACHED ON ANY PORTION OF THE SITE.
- IF DISTURBED AREAS MUST BE LEFT OVER WINTER, AN ANIONIC POLYACRYLAMIDE SHALL BE APPLIED TO ALL DISTURBED AREAS PRIOR TO GROUND FREEZE. SEE SPECIFICATIONS FOR DETAILS.

IMPERVIOUS SURFACE SCHEDULE:

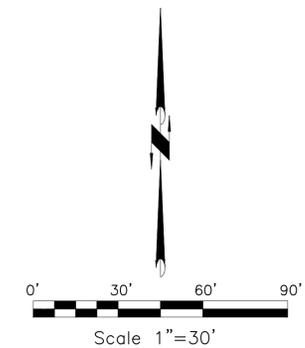
MATERIAL TYPE	AREA
CONCRETE	4,265 SF
BITUMINOUS PAVEMENT	19,262 SF
BUILDING	7,489 SF
TOTAL	31,016 SF



PARCEL 315 R/W PLAT NO. 70-26
(HWY EASEMENT ONLY)

1" = 5' (HORIZONTAL)
1" = 1' (VERTICAL)

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REVISIONS

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 DATE: 04-17-2019
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EROSION CONTROL PLAN

PRELIMINARY PLANS
DGI-BELLE PLAINE, LLC
DOLLAR GENERAL
CITY OF BELLE PLAINE
SCOTT COUNTY, MINNESOTA

Civil Engineering
 Land Surveying
 Landscape Architecture
 5709 Windy Drive, Suite D
 Stevens Point, WI 54482
 715.344.9999 (Ph) 715.344.9922 (FX)

POB Point of Beginning

SHEET 4 OF 7

BENCHMARK:

ELEVATIONS ARE REFERENCED TO NAVD 88 DATUM.

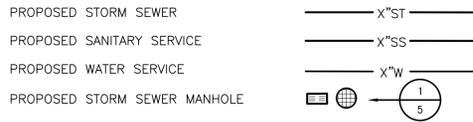
BENCHMARK #1
SOUTHWEST TOP FLANGE BOLT ON HYDRANT, LOCATED ON SOUTHEAST SIDE OF HWY 64/HICKORY BLVD INTERSECTION
ELEVATION = 858.38
BENCHMARK #2
60D SPIKE IN SW SIDE OF UTILITY POLE. POLE IS LOCATED SE OF THE PROPOSED SITE ON THE SOUTH SIDE OF HWY 64
ELEVATION = 857.17

GENERAL NOTES:

- CONTACT GOPHER STATE ONE CALL (651-454-0002) 5 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
- GRADE, LINE, AND LEVEL TO BE REVIEWED IN THE FIELD BY THE CONSTRUCTION MANAGER.
- ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED AND OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE GRADING CONTRACTOR.
- REFER TO THE PROPOSED BUILDING MECHANICAL/PLUMBING PLANS TO VERIFY EXACT CONNECTION LOCATIONS AND SIZES OF PROPOSED SANITARY SEWER AND WATER LATERALS.
- COORDINATE ALL UTILITY WORK WITH GAS, ELECTRICAL, (INCLUDING MAIN SERVICE, SITE LIGHTING, CONDUITS AND SIGNAGE) CABLE AND TELEPHONE CONSTRUCTION AND RESPECTIVE TRADES RESPONSIBLE FOR INSTALLATION OF SAID UTILITIES.
- COORDINATE ALL WORK WITHIN THE PUBLIC RIGHT OF WAY WITH THE LOCAL MUNICIPALITY.
- ALL TESTING AND INSPECTION SHALL BE DONE IN ACCORDANCE WITH MINNESOTA PLUMBING CODE.
- THE PROPOSED WATER MAIN SHALL HAVE A MINIMUM COVER OF 7'-6" TO THE TOP OF PIPE FROM THE PROPOSED FINISHED GRADES, SEE SHEET 3 FOR PROPOSED GRADES.
- THE MUNICIPALITY SHALL BE CONTACTED PRIOR TO ANY EXCAVATION IN THE PUBLIC RIGHT-OF-WAY, AND PRIOR TO CONNECTING SANITARY SEWER AND WATER LATERALS TO THE PUBLIC MAINS. THE CONTRACTOR SHALL HAVE A TRAFFIC CONTROL PLAN APPROVED PRIOR TO WORK COMMENCING. THE MUNICIPALITY SHALL OPERATE ALL EXISTING WATER VALVES, IF NEEDED.
- FIELD VERIFY INVERT ELEVATION OF THE SANITARY SEWER AND WATER PUBLIC MAIN, AT THE LOCATION OF THE SERVICE LATERAL CONNECTIONS, PRIOR TO CONNECTING THE LATERALS TO THE PUBLIC MAIN.

REVISIONS	
4/8/19	ADD PERIMETER CURB, REVISED SAN SERVICE
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.	
Date:	James J. Lundberg, P.E. Registration No. 44630
CHECKED:	JLL
DRAWN:	RDE
DATE:	04-17-2019
PROJECT NO.	17.035

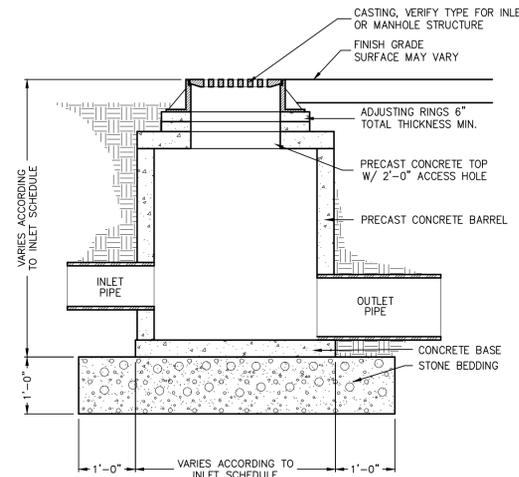
UTILITY LEGEND:



STORM MANHOLE SCHEDULE:

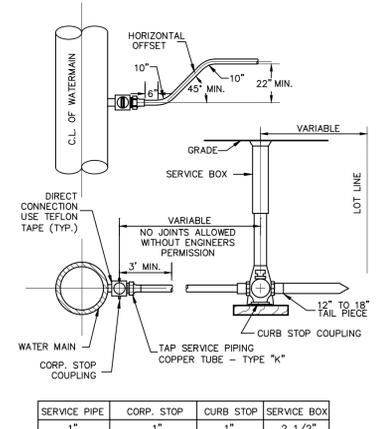
ST#1	ST#2	ST#3	ST#4
RIM 842.13 INV. 839.63	RIM 841.33 INV. 838.83 INV. 838.63	RIM 840.91 INV. 838.41 INV. 838.41	RIM 838.69 INV. 836.19 INV. 836.19
DEPTH 2.50	DEPTH 2.50	DEPTH 2.50	DEPTH 2.50
2'X3' BOX CATCH BASIN W/ NEENAH R-3067 CASTING W/ TYPE R GRATE	48" I.D. PRECAST MANHOLE W/ NEENAH R-3067 CASTING W/ TYPE R GRATE	48" I.D. PRECAST MANHOLE W/ NEENAH R-3067 CASTING W/ TYPE R GRATE	48" I.D. PRECAST MANHOLE W/ NEENAH R-2560 CASTING W/ BEEHIVE GRATE

STORM MANHOLE



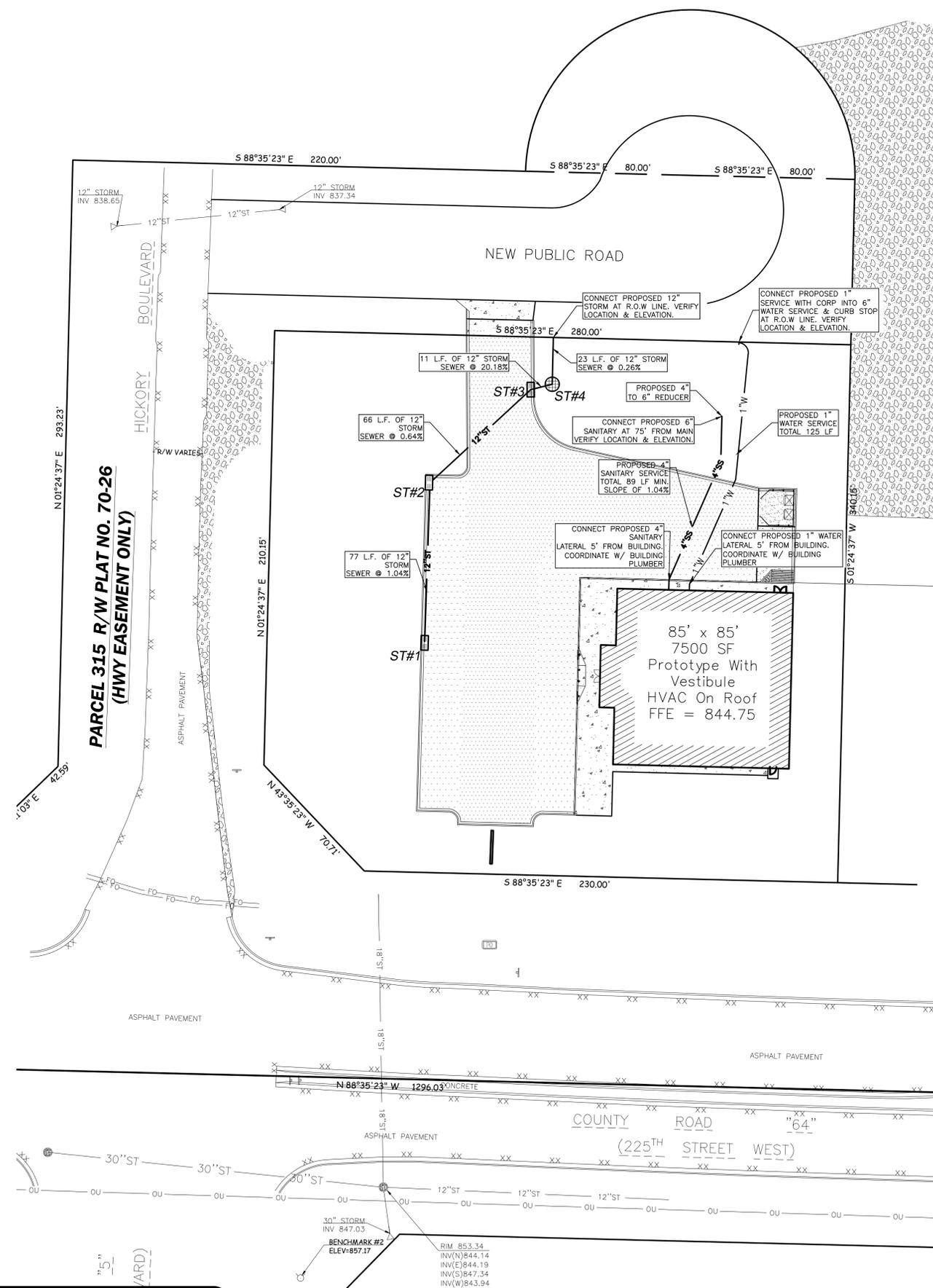
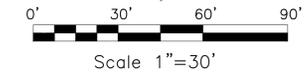
1
5

WATER SERVICE & CURB STOP



SERVICE PIPE	CORP. STOP	CURB STOP	SERVICE BOX
1"	1"	1"	2 1/2"

2
5



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UTILITY PLAN

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POB Point of Beginning
SHEET 5 OF 7

BENCHMARK:

ELEVATIONS ARE REFERENCED TO NAVD 88 DATUM.

- BENCHMARK #1**
SOUTHWEST TOP FLANGE BOLT ON HYDRANT, LOCATED ON SOUTHEAST SIDE OF HWY 64/HICKORY BLVD INTERSECTION
ELEVATION = 858.38
- BENCHMARK #2**
60D SPIKE IN SW SIDE OF UTILITY POLE. POLE IS LOCATED SE OF THE PROPOSED SITE ON THE SOUTH SIDE OF HWY 64
ELEVATION = 857.17

LANDSCAPE PLANTING SCHEDULE

- SHRUBS, PERENNIALS AND ORNAMENTAL GRASSES TO BE PLANTED BETWEEN AUGUST 15, 2019 AND SEPTEMBER 15, 2019. ALL STONE MULCH, EDGING AND FABRIC TO BE INSTALLED AT THE SAME TIME AS LANDSCAPE PLANTINGS.
- DECIDUOUS AND EVERGREEN TREES TO BE PLANTED/MULCHED BETWEEN AUGUST 15, 2019 AND NO LATER THAN SEPTEMBER 15, 2019.
- ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE SEEDED, FERTILIZED, CRIMP HAY MULCHED PRIOR TO OCTOBER 1, 2019.

GENERAL NOTES:

- CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
- 6" OF TOPSOIL SHALL BE PROVIDED IN ALL GENERAL LANDSCAPE AREAS. LANDSCAPE CONTRACTOR SHALL VERIFY THAT SPECIFIED PLANTING SOIL DEPTH IS PRESENT PRIOR TO PLANTING.
- SEED/FERTILIZE/CRIMP HAY MULCH ALL GENERAL LANDSCAPE AREAS DISTURBED DURING CONSTRUCTION. SEE SPECIFICATIONS FOR SEED MIX DETAILS.
- ALL PLANT MATERIALS LISTED SHALL MEET THE STANDARDS OF THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION FOR THE SIZES GIVEN.
- ALL TREES SHALL BE STAKED WITH A MINIMUM OF THREE STAKES.
- ALL TREES IN THE TURF AREA SHALL HAVE A 5" DIAMETER CIRCLE OF 3" DEPTH SHREDDED HARDWOOD BARK MULCH.
- CURV-RITE LANDSCAPE EDGING OR APPROVED EQUAL SHALL BE PLACED AROUND ALL LANDSCAPE BEDS.
- 3" DEPTH OF 1-1/2" DIAMETER STONE MULCH SHALL BE PLACED IN ALL PLANTING BEDS EXCEPT FOR THE BIORETENTION AREA. STONE FOR LANDSCAPE BEDS TO BE NATURALLY ROUNDED AND WASHED, GRADUATION FROM 1" TO 1-1/2" MAXIMUM, RIVER ROCK OR APPROVED EQUAL. VERIFY STONE TYPE AND COLOR WITH OWNER PRIOR TO INSTALLATION.
- FILTER FABRIC SHALL BE PLACED BENEATH ALL LANDSCAPE STONE.
- COORDINATE ALL LANDSCAPE WORK WITH GAS, ELECTRIC, (INCLUDING MAIN SERVICE, SITE LIGHTING, CONDUITS AND SIGNAGE) CABLE AND TELEPHONE CONSTRUCTION AND RESPECTIVE TRADES FOR THE INSTALLATION OF SAID UTILITIES.

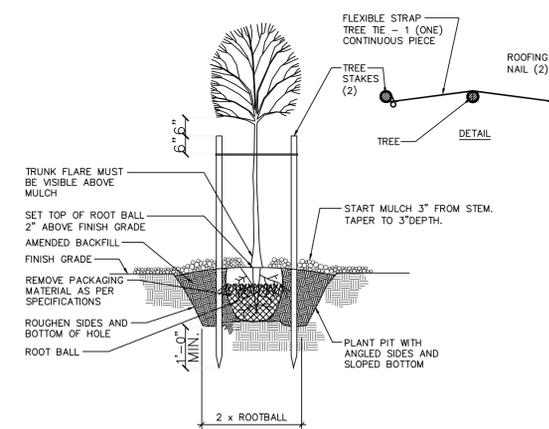
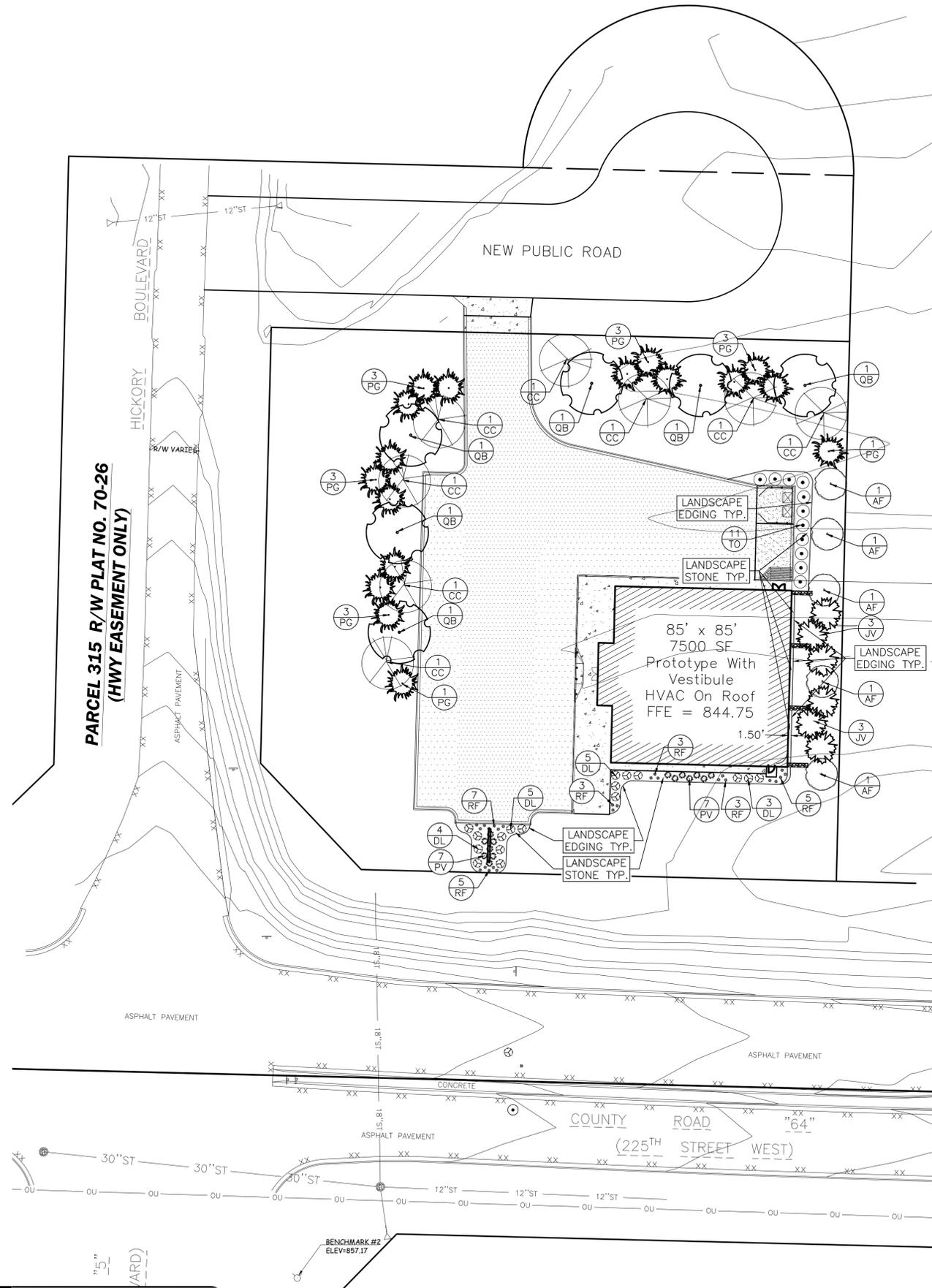
PLANTING SCHEDULE:

TREES SYMBOLS	BOTANICAL NAME	COMMON NAME	INSTALLATION SIZE	SIZE AT MATURITY	QUANTITY
AF	ACER X FREEMANNI 'ARMSTRONG'	ARMSTRONG MAPLE	2" CAL.	30-40' T X 12-15' W	5
CC	CERCIS CANADENSIS	EASTERN REDBUD	1.5" CAL.	30' T X 25-35' W	8
JV	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	3-4' T.	40' T X 20' W	6
PG	PICEA GLAUCA 'DENSATA'	BLACK HILLS SPRUCE	3-4' T.	25-40' T X 15-20' W	17
QB	QUERCUS BICOLOR	SWAMP WHITE OAK	2" CAL.	50' T X 50' W	6

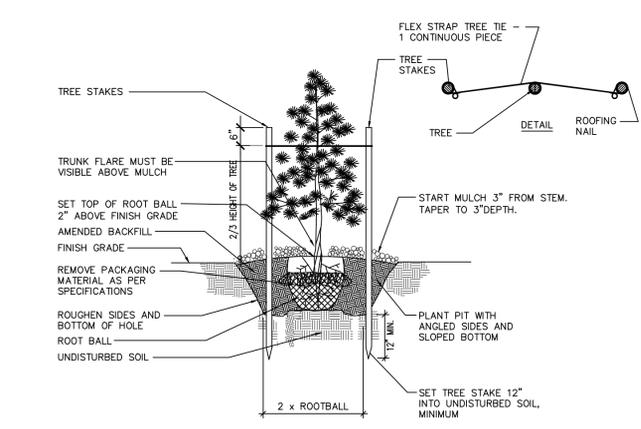
SHRUBS SYMBOLS	BOTANICAL NAME	COMMON NAME	INSTALLATION SIZE	SIZE AT MATURITY	QUANTITY
DL	DIERVILLA LONICERA	NORTHERN BUSH HONEYSUCKLE	24" T.	3'-4' T & W	17
TO	THUJA OCCIDENTALIS 'TECHNY'	TECHNY ARBORVITAE	3' T.	12'-15' T X 6'-8' W	11

ORNAMENTAL GRASS SYMBOLS	BOTANICAL NAME	COMMON NAME	INSTALLATION SIZE	SIZE AT MATURITY	QUANTITY
PV	PANICUM VIRGATUM 'CHEYENNE SKY'	CHEYENNE SKY SWITCH GRASS	1 GAL.	3'-4' T X 3' W	14

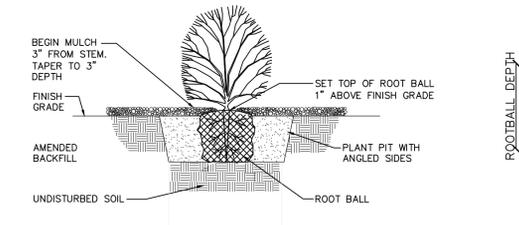
PERENNIALS SYMBOLS	BOTANICAL NAME	COMMON NAME	INSTALLATION SIZE	SIZE AT MATURITY	QUANTITY
RF	RUDEBECKIA FULGIDA 'GOLDSTURM'	GOLDSTURM BLACK EYED SUSAN	1 GAL.	24" T X 24" W	26



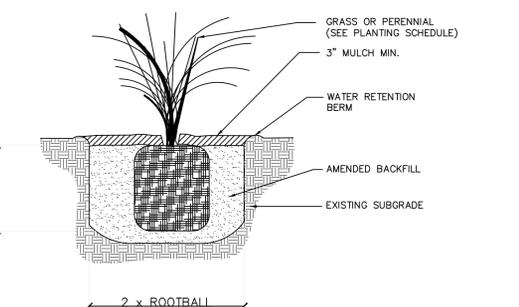
DECIDUOUS TREE PLANTING 1/6



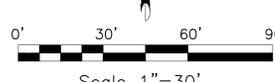
EVERGREEN PLANTING 2/6



SHRUB PLANTING DETAIL 3/6



ORNAMENTAL GRASSES OR PERENNIAL PLANTING 4/6



REVISIONS
4/8/19 ADD EDGING & STONE @ FOUNDATION

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
Date: _____
James J. Lundberg, P.E.
Registration No. 44630

CHECKED: JLL
DRAWN: RDE
DATE: 04-17-2019
PROJECT NO. 17.035

LANDSCAPE PLAN

PRELIMINARY PLANS
DGI-BELLE PLAINE, LLC
DOLLAR GENERAL
CITY OF BELLE PLAINE
SCOTT COUNTY, MINNESOTA

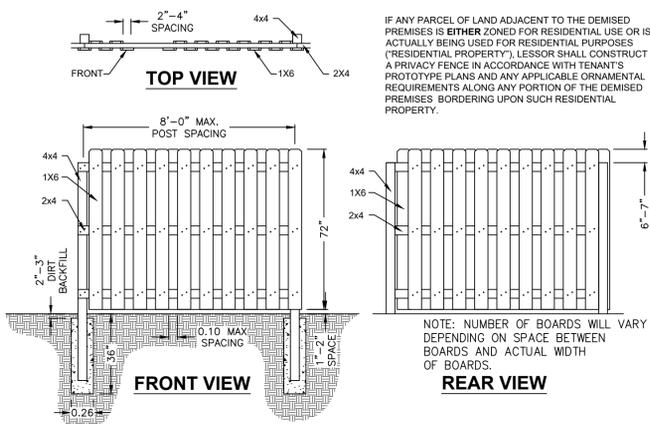
Civil Engineering
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POB Point of Beginning
SHEET **6** OF 7

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STRAIGHT SHADOWBOX PRIVACY FENCING

PINE (USE GALVANIZED NAILS FOR FASTENING)
*ALTERNATES: CEDAR WOOD OR SYNTHETIC FENCING

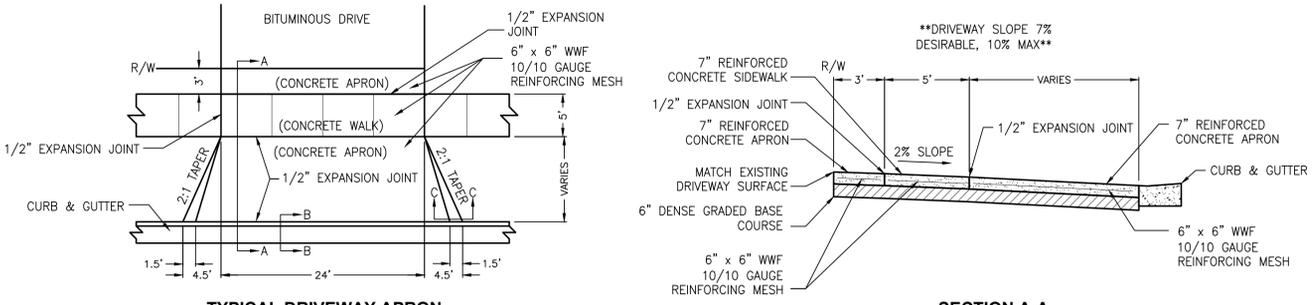


IF ANY PARCEL OF LAND ADJACENT TO THE DEMISED PREMISES IS EITHER ZONED FOR RESIDENTIAL USE OR IS ACTUALLY BEING USED FOR RESIDENTIAL PURPOSES ("RESIDENTIAL PROPERTY"), LESSOR SHALL CONSTRUCT A PRIVACY FENCE IN ACCORDANCE WITH TENANT'S PROTOTYPE PLANS AND ANY APPLICABLE ORNAMENTAL REQUIREMENTS ALONG ANY PORTION OF THE DEMISED PREMISES BORDERING UPON SUCH RESIDENTIAL PROPERTY.

NOTE: NUMBER OF BOARDS WILL VARY DEPENDING ON SPACE BETWEEN BOARDS AND ACTUAL WIDTH OF BOARDS.

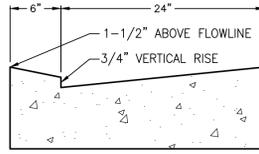
SHADOWBOX PRIVACY FENCE

1/7

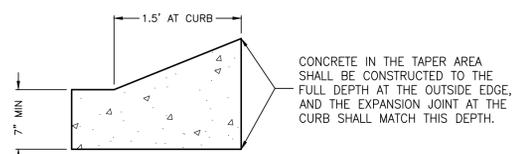


TYPICAL DRIVEWAY APRON

SECTION A-A



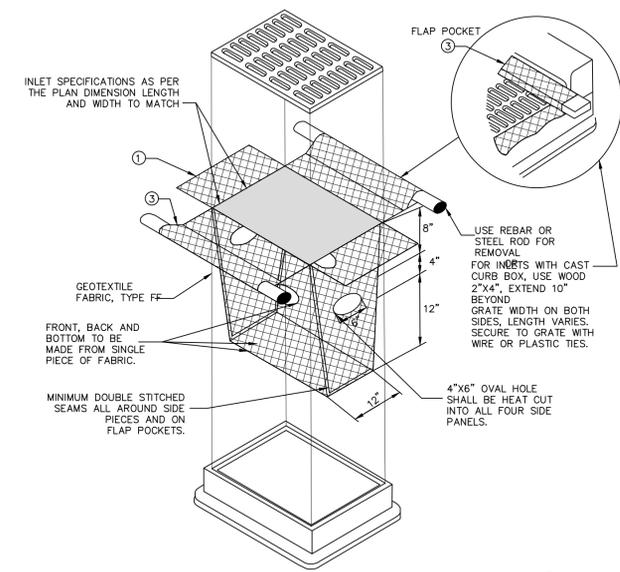
SECTION B-B
DRIVE-OVER CURB



SECTION C-C
DRIVEWAY APPROACH TAPER

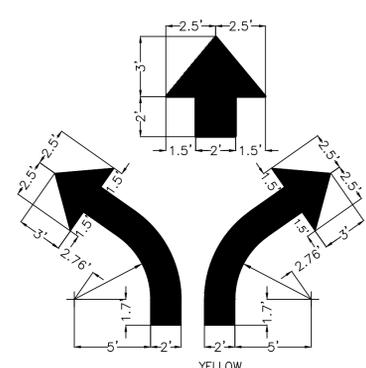
CONCRETE ENTRANCE APRON

2/7



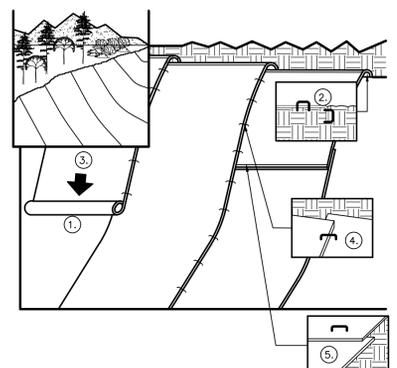
INLET PROTECTION

4/7



DIRECTIONAL ARROWS

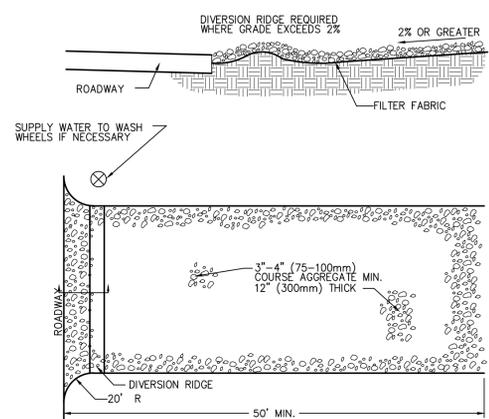
5/7



GENERAL NOTES:
1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" DEEP BY 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
3. ROLL THE BLANKETS DOWN THE SLOPE IN THE DIRECTION OF THE WATER FLOW.
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP. WHEN BLANKETS MUST BE SPLICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 6" OVERLAP. STAPLE THROUGH OVERLAPPED AREA APPROXIMATELY 12" APART.

EROSION CONTROL BLANKETS

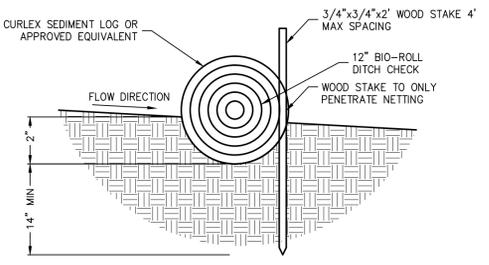
6/7



NOTES:
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT.
2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. ANY MEASURES USED TO TRAP SEDIMENT.
3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

ROCK CONSTRUCTION ENTRANCE

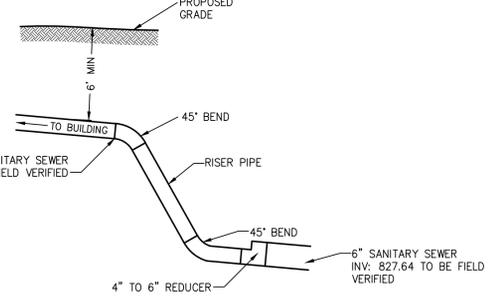
7/7



NOTES:
1. USE SEDIMENT CONTROL LOG DITCH CHECK AND INSTALL ACCORDING TO CURRENT MNDOT SPECIFICATIONS.
2. INSPECT DITCH CHECK FOR DEFICIENCIES PRIOR TO FORECASTED RAIN EVENTS, DAILY DURING EXTENDED RAIN EVENTS, AFTER RAIN EVENTS, AND AT 1-WEEK INTERVALS.
3. TURN ENDS OF DITCH CHECK UPSLOPE TO PREVENT WATER FROM FLOWING AROUND END.
4. REMOVE SEDIMENT BEHIND DITCH CHECK BEFORE SEDIMENT LEVEL REACHES THE HALF-WAY POINT BETWEEN THE GROUND SURFACE AND TOP OF THE DITCH CHECK.

TEMPORARY DITCH CHECK

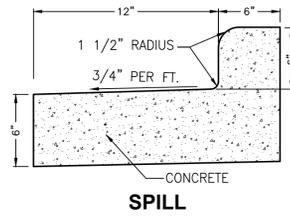
8/7



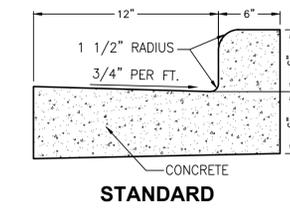
NOTE:
-VERIFY SIZE, DEPTH, & LOCATION OF SANITARY SEWER PRIOR TO CONNECTION.
-COORDINATE CONNECTION WITH THE CITY OF BELLE PLAINE PUBLIC WORKS DEPT.

SANITARY SEWER CONNECTION

9/7



SPILL



STANDARD

18" CONCRETE CURB & GUTTER

10/7

REVISIONS

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Date: _____
James J. Lundberg, P.E.
Registration No. 44630

CHECKED: JLL
DRAWN: RDE
DATE: 04-17-2019
PROJECT NO. 17.035

DETAILS

PRELIMINARY PLANS

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DOLLAR GENERAL
CITY OF BELLE PLAINE
SCOTT COUNTY, MINNESOTA

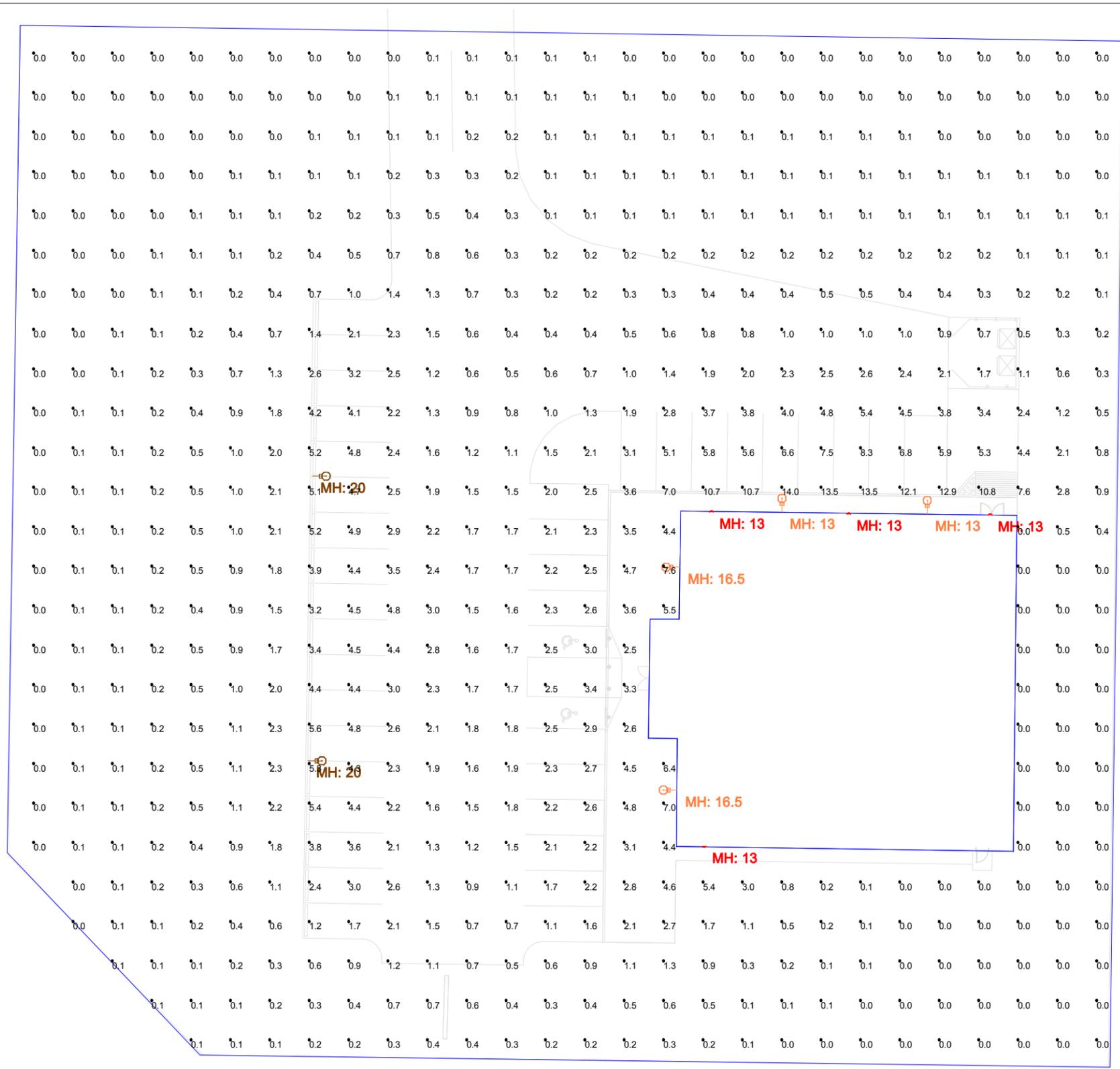
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POB Point of Beginning

SHEET 7 OF 7

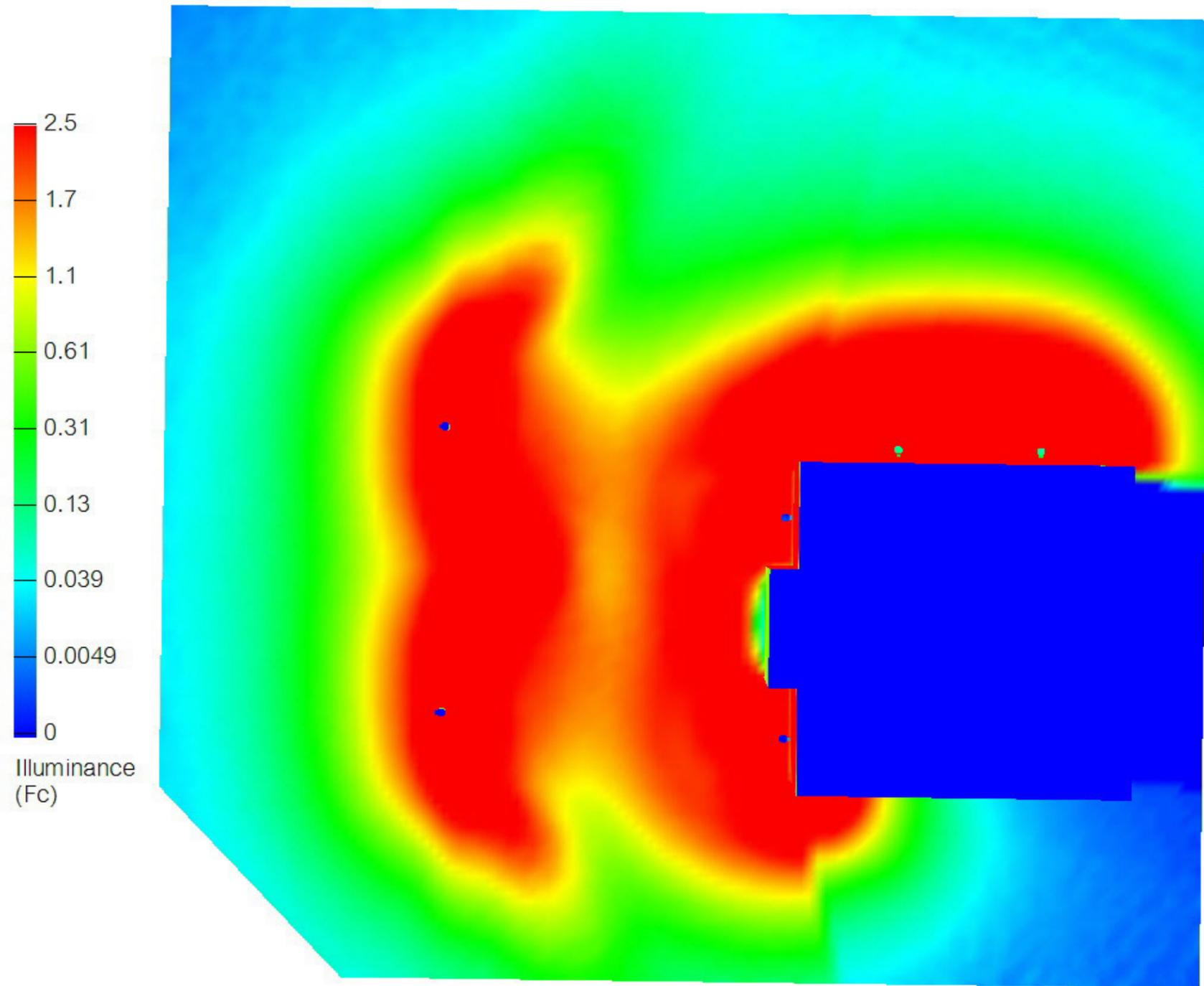
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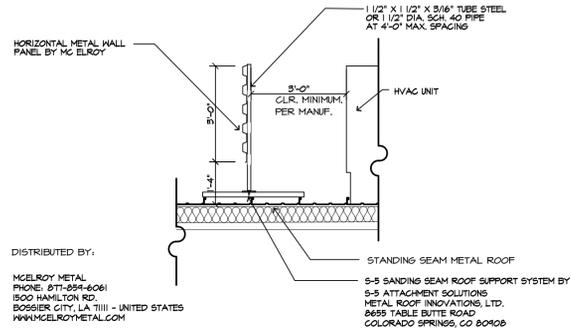
Layout designs are based on information provided by the client and are only to be used as USLED recommendations for luminaire placement. Determination of luminaire application within existing or new field conditions is the responsibility of the engineer and/or architect.
 The illumination level calculations within this layout are of those luminaires that have been laboratory tested under controlled conditions in accordance with Illuminating Engineering Society standard practices. Performance of any USLED luminaire may vary based on any varying field conditions. Unless otherwise noted, calculations do not include landscaping, buildings, curbs, or any other architectural elements which may alter the results.

Luminaire Schedule										
Symbol	Qty	Label	Description	LLF	Lum. Watts	Total Watts	Lum. Lumens	MH		
⊖	4	QF4-1-UNVL-5-50-150	QubeFlood4 Bronze Low Voltage 5S Lens	0.935	139.7	558.8	16306	13'/16.5'		
⊖	2	QF4-1-UNVL-2-50-150	QubeFlood4 Bronze Low Voltage 2S Lens	0.935	140	280	16109	20'		
⊖	4	WPR1-50-50-BZ	Regal 50W 4346 Lumens 5000K Bronze	0.932	46.49	185.96	4453	13'		

Calculation Summary @ Grade - Calculation Points = 10'x10'						
Label	CalcType	Avg	Max	Min	Avg/Min	Max/Min
Ground_Planar	Illuminance	1.19	14.0	0.0	N.A.	N.A.



Layout designs are based on information provided by the client and are only to be used as USLED recommendations for luminaire placement. Determination of luminaire application within existing or new field conditions is the responsibility of the engineer and/or architect. The illumination level calculations within this layout are of those luminaires that have been laboratory tested under controlled conditions in accordance with Illuminating Engineering Society standard practices. Performance of any USLED luminaire may vary based on any varying field conditions. Unless otherwise noted, calculations do not include landscaping, buildings, curbs, or any other architectural elements which may alter the results.



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 BOSSIER CITY, LA 71111 - UNITED STATES
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A RTU SCREEN DETAIL
 A02 SCALE: N.T.S.

PRE-ENGINEERED METAL BUILDING VENDOR	VP BUILDINGS ATTN: DAVID ENGLISH (901) 588-4537	STAR BUILDING SYSTEMS ATTN: RODNEY BURT (800) 879-7827	NUCOR BUILDING SYSTEMS ATTN: BOB BARRY (315) 822-4440 (260) 337-7991	BIG BEE STEEL BUILDINGS, INC. ATTN: KEVIN BUSLER (800) 633-3378	CHIEF BUILDINGS ATTN: ERIN SULLIVAN (800) 845-1767	PREFERRED COLORS IF ALTERNATE EXTERIOR MATERIALS ARE USED INSTEAD OF METAL PANELS
EXTERIOR FINISHES						
EXTERIOR FINISHES ARE TO MATCH OR BE EQUAL TO VP METAL BUILDING SYSTEMS FINISH SELECTION UNLESS AUTHORITY HAVING JURISDICTION DOES NOT ALLOW						
GUTTERS	•					
DOWN SPOUTS						
SIDE AND REAR METAL WALL PANELS (TRIM TO MATCH ADJACENT WALL PANELS)						
ARCHITECTURAL BLOCK AT BUILDING FACADE SHOULD BE PRE-FINISHED OR PAINTED (2 COATS-LOXON XP MASONRY COATING A24W400 SERIES) TO MATCH NOTED COLOR (EITHER SW7032 "WARM STONE" OR SW7041 "VAN DYKE BROWN")						
FRONT PARAPET PANELS (NOT @ VESTIBULE), REVERSE-RIB PROFILE (TRIM & COPING COLORS TO MATCH ADJACENT PANELS)						
FRONT VESTIBULE PARAPET PANELS, REVERSE-RIB PROFILE (TRIM & COPING COLORS TO MATCH ADJACENT PANELS) STOREFRONT SYSTEM						
STANDING SEAM METAL ROOF PANELS						
LINER PANELS, 28 GA (INTERIOR SALES FLOOR & RECEIVING AREA)						

NOTE:
 1. REFER TO SHEET T01 FOR ADDITIONAL INFORMATION ON RECOMMENDED NATIONAL ACCOUNT VENDORS.
 2. NATIONAL ACCOUNT AND CONTACT INFORMATION SUBJECT TO CHANGE.

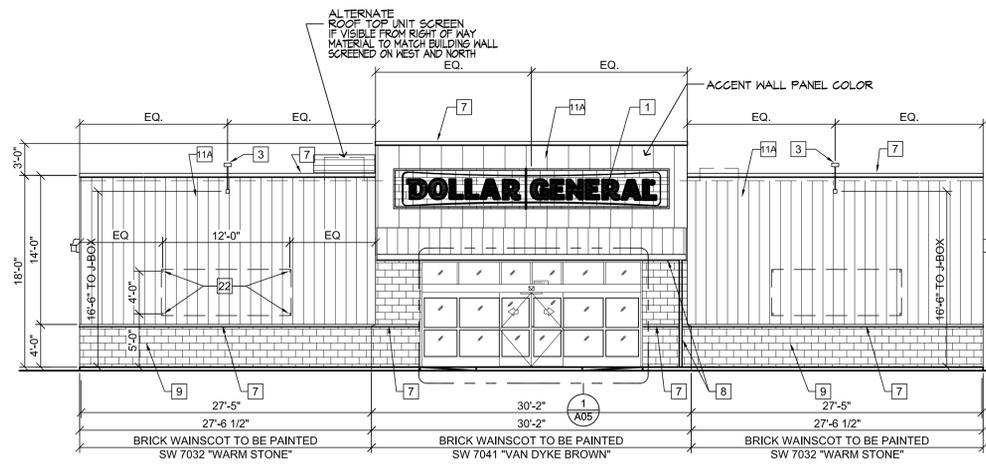
ELEVATION KEYED NOTES

- SIGN FURNISHED AND INSTALLED BY DOLLAR GENERAL CORP. WITH CIRCUIT AS NOTED ON ELECTRICAL PLAN. SIGN TO BE CENTERED ON FRONT OF BUILDING. CONTRACTOR IS TO PROVIDE ADEQUATE BLOCKING AS REQUIRED BY SIGN MANUFACTURER TO SUPPORT SIGN WEIGHT OF UP TO 1,400 LBS. EXTERIOR CANOPY SIGN SHALL BE SUPPORTED BY THE FACE OF THE CANOPY. COORDINATE THE PROPER SIGNAGE TO BE USED WITH DOLLAR GENERAL.
- NOT USED.
- FLOOD LIGHT. REFER TO ELEC. DRAWINGS FOR ADDITIONAL INFO.
- NOT USED.
- WALL PACK. REFER TO ELEC. DRAWINGS FOR ADDITIONAL INFO.
- NOT USED.
- TRIM/COPING/FLASHING - MATCH COLOR OF ADJACENT METAL PANELS PER EXTERIOR FINISH SCHEDULE.
- GUTTER AND DOWNSPOUT - SEE EXTERIOR FINISH SCHEDULE FOR COLOR.
- 4" SMOOTH FACED ECONOMY SIZED BRICK, PAINTED. REFER TO ELEVATIONS AND EXTERIOR FINISH SCHEDULE FOR COLOR.
- STANDING SEAM METAL ROOF.
- PRE-FINISHED METAL WALL PANELS (BY PEMB), REVERSE RIB PROFILE AT FRONT ELEVATION ONLY. REFER TO EXTERIOR FINISH SCHEDULE FOR COLOR.
- PRE-FINISHED METAL WALL PANELS (BY PEMB), REFER TO EXTERIOR FINISH SCHEDULE FOR COLOR.
- NOT USED.
- VENT FOR BATHROOM EXHAUST. REFER TO M01 FOR ADDITIONAL INFORMATION.
- DOOR BUZZER. REFER TO E01 FOR ADDITIONAL INFORMATION.
- WALL HYDRANT. REFER TO P01 FOR ADDITIONAL INFORMATION.
- HVAC UNITS MOUNTED ON ROOF. REFER TO MECHANICAL SHEET M1 FOR MORE INFORMATION.
- OUTSIDE AIR TEMP. SENSOR MOUNTED OVER RECEIVING DOORS @ 8'-0" A.F.F.
- MINIMUM EAVE HEIGHT IS 14'-0" A.F.F.
- FINISHED GRADE AT EXTERIOR WALLS SHALL BE A MINIMUM OF 6" BELOW FINISHED FLOOR AT ALL NON PAVED AREAS.
- IN NORTHERN CLIMATES, PROVIDE SNOW GUARDS ON ROOF PER LOCAL CODE.
- METAL AWNING BY PEMB MANUFACTURER. REFER TO FINISH SCHEDULE FOR COLOR.
- 1/2" DIAMETER x 6" LONG STAINLESS STEEL EYE BOLTS (CLOSED) WITH 1" DIAMETER OPENINGS. DRILL AND EPOXY INTO BLOCK WALL. 4 BOLTS TO BE LOCATED AS SHOWN EACH SIDE OF ENTRY, TOTAL OF 8 BOLTS.

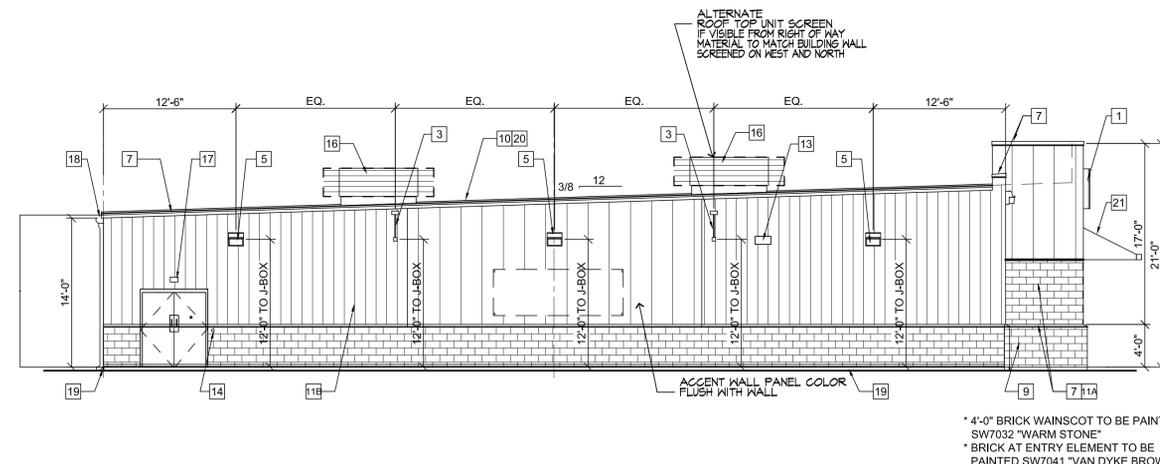
CLASS I EXTERIOR MATERIAL

* ZONING IS COMMERCIAL INDUSTRIAL

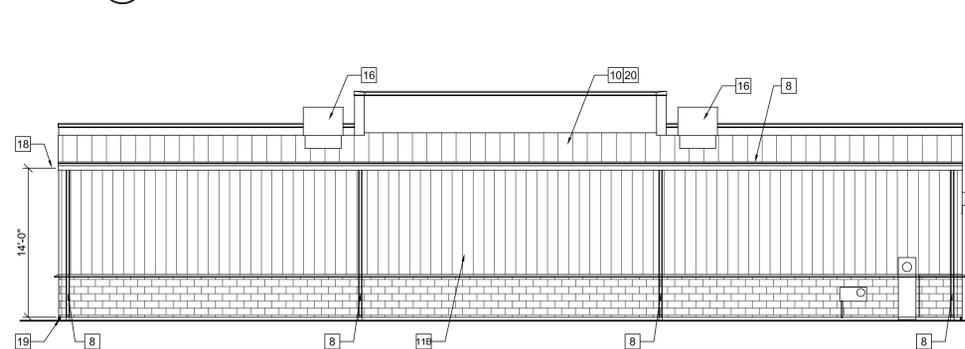
SOUTH WALL AREA 1609 S.F. X.6 = 965 SF. 601 SHOWN
 WEST WALL AREA 1641 S.F. X.25 = 410 SF. 533 SHOWN
 NORTH WALL AREA 1609 S.F. X.25 = 402 SF. 393 SHOWN
 EAST WALL AREA 1242 S.F. X.10 = 124SF. 341 SHOWN
 TOTAL CLASS I MATERIAL REQUIRED 1932 S.F. 1868 S.F. SHOWN



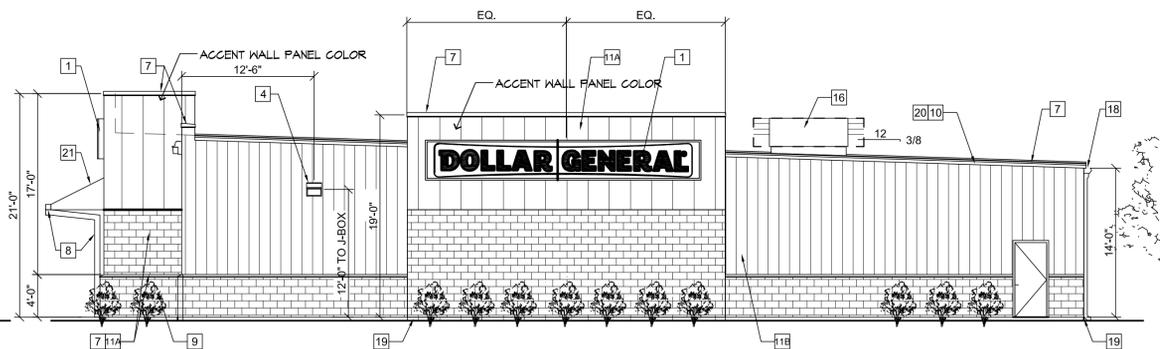
1 WEST ELEVATION
 A02 SCALE: 1/8"=1'-0"



3 NORTH ELEVATION
 A02 SCALE: 1/4"=1'-0"



2 EAST ELEVATION
 A02 SCALE: 1/8"=1'-0"



4 SOUTH ELEVATION
 A02 SCALE: 1/8"=1'-0"

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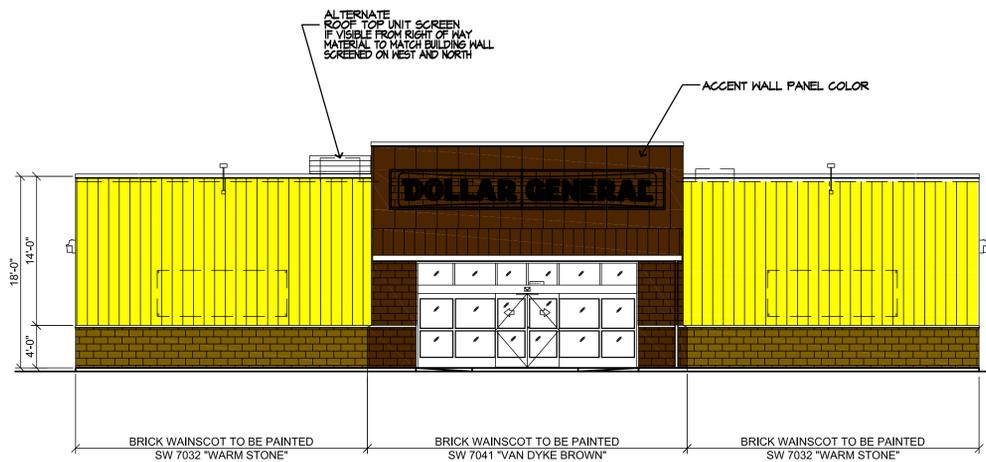
MINNESOTA

PROJECT:
 PROPOSED NEW RETAIL STORE FOR
DOLLAR GENERAL
 State Hwy G4
 City of Belle Plaine Scott County.

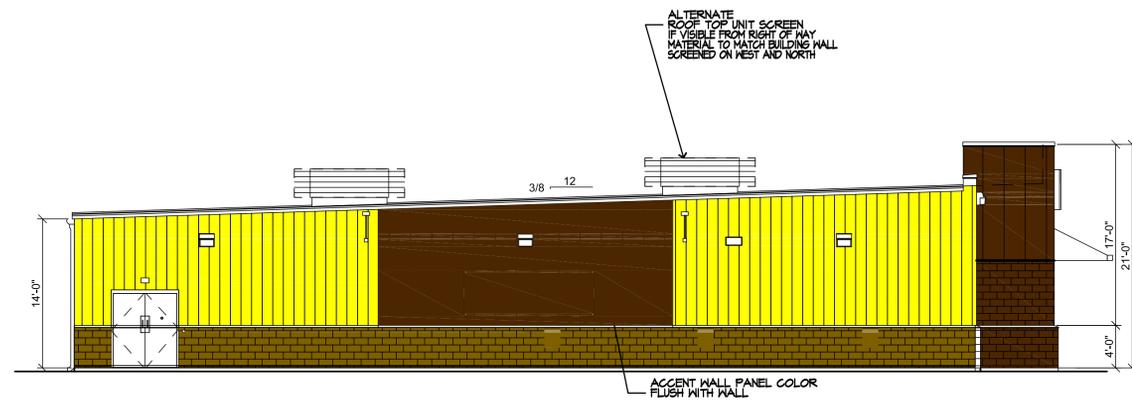
DRAWN BY:
 R_J
 CHK'D BY:
 R_J
 JOB NUMBER:
 19000
 DATE:
 4/16/19

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.
 PRINT NAME : DANIEL J. MEISSNER, AIA
 SIGNATURE _____
 DATE _____ LICENSE #20632

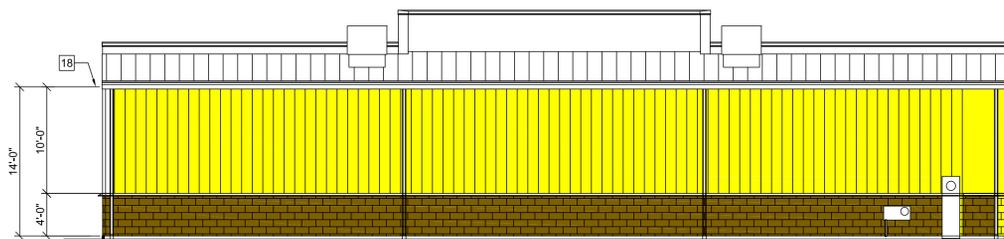
A02



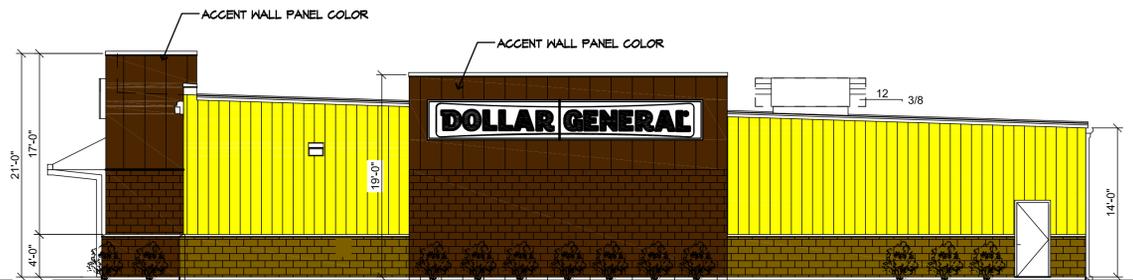
1 WEST ELEVATION
A02 SCALE: 1/8"=1'-0"



3 NORTH ELEVATION
A02 SCALE: 1/4"=1'-0"



2 EAST ELEVATION
A02 SCALE: 1/8"=1'-0"



4 SOUTH ELEVATION
A02 SCALE: 1/8"=1'-0"

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.
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NO.	DESCRIPTION	DATE

FISHER & ASSOCIATES, LLC.
 Architects / Planners
 916 CEDARS STREET DE PERE, MN 54185
 fisherandassociatesllc.com

PROJECT:
 PROPOSED NEW RETAIL STORE FOR
DOLLAR GENERAL
 State Hwy 64
 City of Belle Plaine Scott County,
 MINNESOTA

DRAWN BY:
 R.F.
 CHK'D BY:
 R.F.
 JOB NUMBER:
 19000
 DATE:
 4/16/19

A02A