



MEMORANDUM

DATE: June 7, 2016
TO: Chairperson Hvidsten, Members of the Planning Commission, Administrator Kreft
FROM: Cynthia Smith Strack, Community Development Director
RE: Item 6.1 Final Stage PUD and Final Plat: Ridgeview Health Campus

REQUEST SUMMARY

PZ Task: Public hearing and recommendation to Council: Resolution PZ 16-013, Recommending the City Council Approve Final Stage Planned Unit Development Plan and Final Plat for Ridgeview Health Campus.

Overview: Ridgeview Medical Center has applied for final PUD and plat approval for Ridgeview Health Campus at 165 Commerce Drive West. Phase I of the project includes a 12,900 sf medical clinic, a 10,000 sf fitness/wellness center, and a 54 unit senior independent living center. Phase II includes vertical expansion of the clinic. The project is being processed as a planned unit development (PUD) concurrent with platting. The development proposal is at the final stage for review purposes. Overall, the PUD and final plat are relatively simple and few changes were required to either at development stage approval.



**PROJECT LOCATION
(Approx. 10+ ac)**

Applicant: Ridgeview Medical Center

Attachments to Report: (a) Staff analysis of request dated June 7, 2016;
(b) Development stage plan application and material submittal;
(c) Draft Resolution

Action Options: Approve, deny, or postpone pending receipt of additional pertinent information.

Staff Recommendation: Approval, with conditions.

Notes: Representatives from RMC are expected to be in attendance.

June 7, 2016

TO: Chairperson Hvidsten
Members of the Planning Commission
Administrator Kreft

FROM: Cynthia Smith Strack, Community Development Director

SUBJECT: Final Stage Review: Ridgeview Health Campus PUD

1. Resolution PZ 16-013, Recommending the City Council Authorize Approve Final Stage Planned Unit Development and Final Plat for Ridgeview Health Campus.

The purpose of this memo is to provide the Commission with information regarding final stage PUD and final plat review for Ridgeview Health Campus (RHC). RHC is a PUD subdivision on approximately seven acres at 165 Commerce Drive West. The project consists of a mixed use development including a three story, 54-unit senior independent living center (21,975 sf footprint), a 12,900 sf medical clinic with vertical expansion, and a 10,000 sf health/wellness center.

PUD FINAL PLAN REVIEW

The PUD Final Plan is consistent with that approved at concept and development stage reviews in terms of:

- Density/intensity: proposed density/intensity less than authorized i.e. 9 du/ac; .20 FAR
- Project phasing: Phase I includes one story clinic, fitness center, and housing; Phase II clinic vertical expansion.
- Private financing of improvements is proposed/accepted.
- Ingress/Egress on Commerce Drive adjusted slightly to the east for intersection spacing purposes at request of City Engineer. Internal site circulation pedestrian/vehicular has not changed.
- Parking/loading as presented/approved in development stage submittal.
- Landscaping as presented/approved in development stage submittal.
- Parkland dedication: fee in lieu of land dedication as identified in the purchase agreement.
- Stormwater/grading/drainage: as presented/approved in development stage submittal. SWPPP required.
- Utility and fire lane locations.
- Plat layout and design.

Lighting

Review of a photometric plan for the development was a required condition of development stage PUD review. A photometric plan has been submitted and illustrates light shed in foot candles from freestanding and wall mounted luminaries. Free-standing light standards are proposed at an overall height of 28' (25' post on three-foot base). Planned lighting is consistent with zoning standards for maximum height and maximum foot candle at centerline of public rights of way. Luminaries are to be hooded or controlled in some manner so as not to light adjacent property.

Signage

Conceptual signage locations were approved as part of the development stage PUD. Staff recommends approval of signage be contingent on administrative review of a required sign permit at a future date when sign details are available.

Public Works

The Public Works Superintendent Fahey has examined the final plan/plat and concurs with comments submitted by the City Engineer.

Engineering

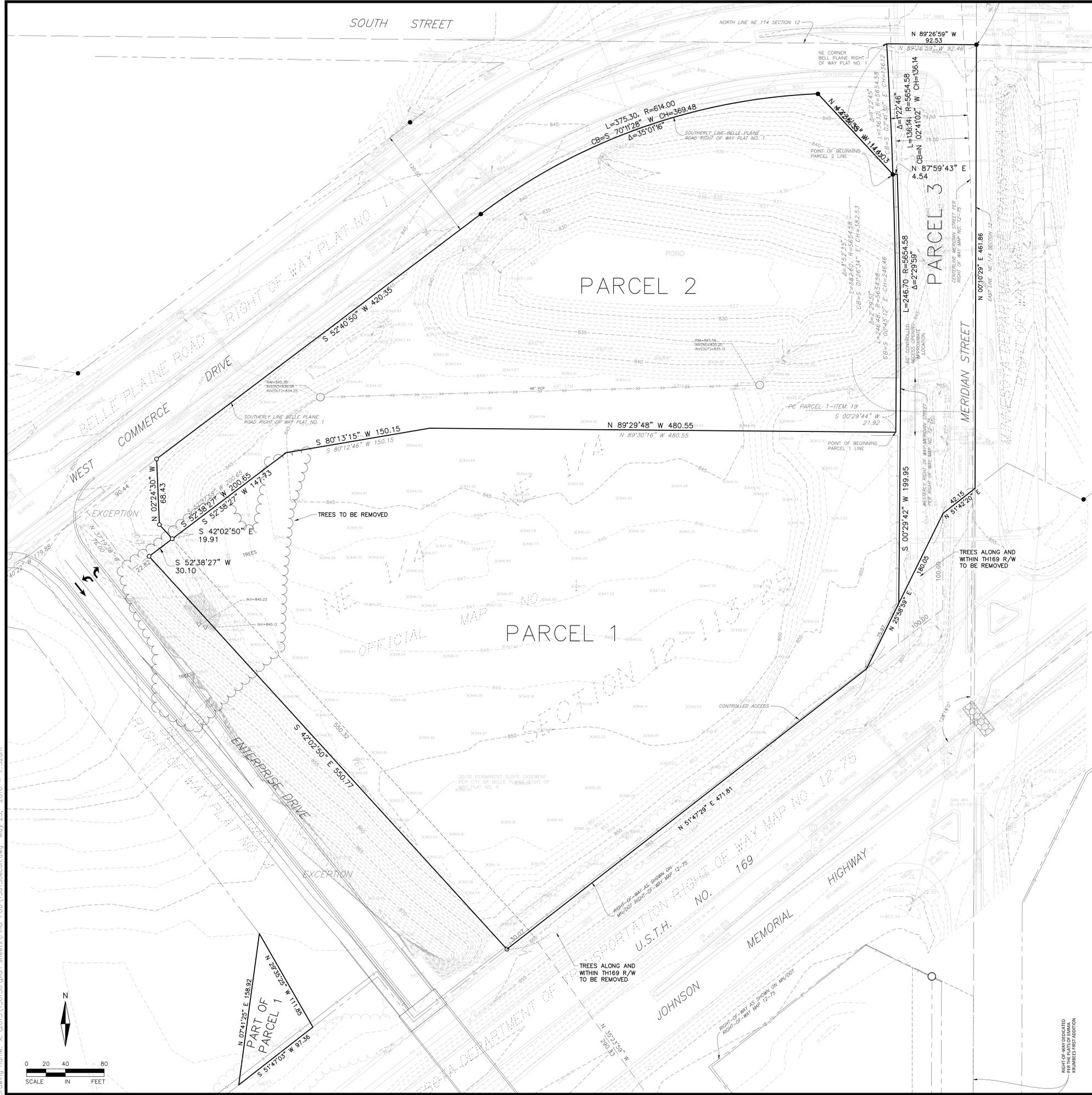
The City Engineer Duncan is examining the final plan/plat. Comments contained in the City Engineer's forthcoming project memo will be noted and incorporated by reference. The Developer has submitted an escrow to provide for design of municipal utilities and adjustments to Commerce Drive West. Design work is underway.

Staff/Consultant Recommendation

Sample resolution 16-013 recommending conditional approval of final stage PUD and final plat is provided for consideration.

Staff recommend approval of the resolution subject to the following conditions:

1. Recommendations contained in the Community Development Director's staff memos dated May 9, 2016 and June 7th. Recommendations contained in review memos from the City Engineer.
2. Execution of a development agreement.
3. Payment of required fees as identified in the development agreement.
4. Issuance of an administrative sign permit.
5. Recording of final plat and easements with Scott County.
6. Submittal of as-builts post project completion.



NOTE:

- ALTA/ACSM LAND TITLE SURVEY INFORMATION PROVIDED BY BOLTON & MENK, INC. DATED 5-9-16.
- PARTIAL TOPOGRAPHIC SURFACE UPDATED BY ALLIANT ENGINEERING ON 4-7-16.

LEGEND:

- PROPERTY LINE
- ROW LINE
- CONTROLLED ACCESS
- EASEMENT LINE

- 3/4" IRON PIPE MONUMENT SET MARKED BY REG. NO. 26748
- MONUMENT FOUND
- ◆ BENCH MARK
- ⊕ ANCHOR
- ⊕ CATCH BASIN
- ⊕ CONTROL POINT
- ⊕ CLEAN OUT
- ⊕ CURB STOP VALVE
- ⊕ ELECTRIC METER
- ⊕ ELECTRIC PEDESTAL
- ⊕ ELECTRIC TRANSFORMER
- ⊕ GAS
- ⊕ GAS VALVE
- ⊕ GAS METER
- ⊕ HAND HOLE
- ⊕ HYDRANT
- ⊕ IRRIGATION CONTROL VALVE
- ⊕ LIGHT DECORATIVE
- ⊕ LIGHT POLE
- ⊕ MAILBOX
- ⊕ UTILITY MANHOLE
- ⊕ ELECTRIC MANHOLE
- ⊕ SANITARY MANHOLE
- ⊕ STORM MANHOLE
- ⊕ POST INDICATOR VALVE
- ⊕ SOIL BORING
- ⊕ SEMAPHORE TRAFFIC LIGHT
- ⊕ TRAFFIC SIGN
- ⊕ SPRINKLER HEAD
- ⊕ COMMUNICATION PEDESTAL
- ⊕ UTILITY POLE
- ⊕ WATER VALVE
- ⊕ ELECTRIC UNDERGROUND
- ⊕ GAS LINE
- ⊕ COMMUNICATION UNDERGROUND
- ⊕ FIBER OPTIC UNDERGROUND
- ⊕ UTILITY OVERHEAD
- ⊕ WATER SYSTEM
- ⊕ STORM SEWER
- ⊕ SANITARY SEWER



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Consultants

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Mark Rausch
 Signature
 Registration Number 43480
 Date 5/18/16



RIDGEVIEW HEALTH CAMPUS
 Therapy/Fitness Center & Assisted Living

FINAL PUD & PLAT SUBMITTAL
 5/18/16

Project No. 215-0150.0
 Drawn By ELL
 Checked By MPR
 Date 5/18/16

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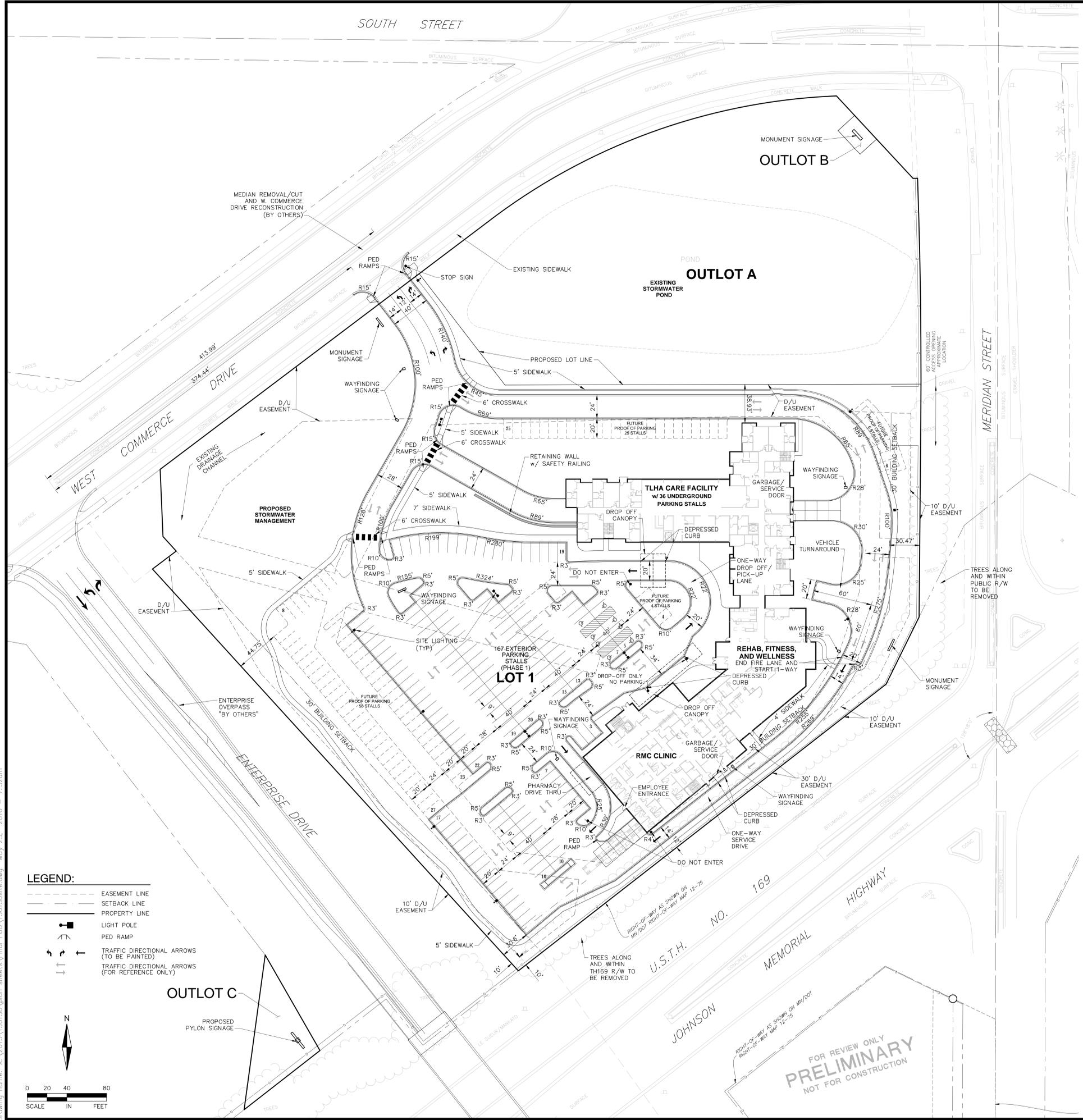
Revisions

No.	Date	Description
1	4-18-16	PRELIM PLAT & PUD SUB
1	4-29-16	DL & ESMT ADD
2	5-18-16	FINAL PLAT & PUD SUB

EXISTING CONDITIONS / TOPOGRAPHY PLAN

C1.1

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SITE DATA

LOT AREA SUMMARY:

EXISTING PARCEL 1	= 6.23 AC
EXISTING PARCEL 2	= 4.02 AC
EXISTING PARCEL 3	= 0.95 AC
TOTAL CONCEPT AREA	= 11.20 AC

PROPOSED DEVELOPMENT (RE-PLAT)

LOT 1	= 7.52 AC
OUTLOT A	= 2.59 AC
OUTLOT B	= 0.02 AC
OUTLOT C	= 0.12 AC
ROW	= 0.95 AC
TOTAL AREA	= 11.20 AC

PARKING SUMMARY:

PARKING REQUIREMENTS: (SEE PROJECT NARRATIVE FOR CALCULATION)

TLHA FACILITY	= 65 STALLS
FITNESS/ WELLNESS/ REHAB	= 50 STALLS
RMC CLINIC	= 54 STALLS
TOTAL PARKING REQUIRED PHASE 1	= 169 STALLS
TOTAL STALLS PROPOSED PHASE 1	= 203 STALLS (167 EXT/ 36 INT)
FUTURE EXPANSION REQUIREMENT	= 120 STALLS
TOTAL STALLS REQUIRED AT FULL BUILD OUT	= 290 STALLS
ADDITIONAL PROOF OF PARKING PROPOSED	= 93 STALLS
TOTAL STALLS PROVIDED AT FULL BUILD OUT	= 296 STALLS

GENERAL NOTES:

- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY.
- CONTRACTOR IS RESPONSIBLE FOR DEMOLITION AND REMOVAL OF ALL EXISTING STRUCTURES WHICH INTERFERE WITH NEW WORK AS SHOWN.
- ALL DIMENSIONS, GRADES, EXISTING AND PROPOSED INFORMATION SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO INFORMATION SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- CONTRACTOR SHALL PROTECT ADJOINING PROPERTIES & STRUCTURES FROM HAZARDS ASSOCIATED WITH HIS CONSTRUCTION ACTIVITIES & SHALL BE RESPONSIBLE FOR ALL DAMAGES TO PROPERTIES AND STRUCTURES THAT OCCUR AS A RESULT OF THESE ACTIVITIES.
- CONTRACTOR SHALL NOT IMPEDE EXISTING TRAFFIC CIRCULATION TO ADJACENT PROPERTIES.
- CONTRACTOR SHALL PERFORM SWEEPING ON PRIVATE PARKING AREAS AND PUBLIC STREETS AT LEAST ONCE A WEEK, IF NEEDED.
- CONTRACTOR SHALL BE HELD FULLY RESPONSIBLE TO PREVENT AND ELIMINATE ANY DUST NUISANCE OCCASIONED BY AND DURING CONSTRUCTION, UNTIL THE PROJECT HAS BEEN COMPLETED.
- CONTRACTOR SHALL PROVIDE TEMPORARY STREET SIGNS, LIGHTING, AND ADDRESSES DURING CONSTRUCTION PERIOD.
- ALL CONSTRUCTION AND POST CONSTRUCTION PARKING SHALL BE ON-SITE, NO ON-STREET PARKING/LOADING/UNLOADING ALLOWED.
- ALL PUBLIC TRAILS OR WALKS SHALL NOT BE OBSTRUCTED DURING CONSTRUCTION UNLESS APPROVED BY CITY ENGINEER.
- STORAGE OF MATERIALS OR EQUIPMENT SHALL NOT BE ALLOWED ON PUBLIC STREETS OR WITHIN PUBLIC RIGHT OF WAY.
- CONTRACTOR TO PROVIDE TEMPORARY TRAFFIC CONTROL IN COMPLIANCE WITH MnDOT "TEMPORARY TRAFFIC CONTROL ZONE LAYOUT-FIELD MANUAL, LATEST EDITION, FOR ANY CONSTRUCTION IN PUBLIC ROW.
- A FIELD INSPECTION OF ALL CURB, SIDEWALK AND PAVEMENT SUBGRADE, STRING LINES AND FORM WORK BY GENERAL CONTRACTOR OR OTHER APPROVED REPRESENTATIVE IS REQUIRED PRIOR TO ANY PAVEMENT INSTALLATION.

SITE PLAN NOTES:

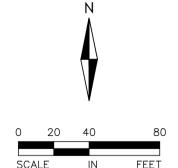
- ALL DIMENSIONS ARE TO FACE OF BUILDING AND/OR FACE OF CURB.
- REFER TO ARCHITECTURAL DRAWINGS FOR CONCRETE STOOPS ADJACENT TO PROPOSED BUILDING.
- CONTINUOUS CONCRETE CURB & GUTTER WHICH CHANGES TYPE SHALL HAVE A FIVE FOOT STRIP.
- ALL CONCRETE CURB AND GUTTER ADJACENT TO CONCRETE WALK BE SEPARATED BY A 1/2 INCH EXPANSION JOINT.
- STRIPING SHALL BE 4 INCH WHITE UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES, SUCH AS EXISTING GUTTER GRADES AT THE PROPOSED DRIVEWAY, PRIOR TO THE START OF SITE GRADING. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES OF VARIATIONS FROM THE PLANS.
- REFER TO PHOTOMETRIC PLAN FOR LIGHTING LOCATIONS, FOOTCANDLE CALCULATIONS AND SPECIFICATIONS.
- ALL RETAINING WALLS TO BE MODULAR BLOCK WALLS. ANY WALLS IN EXCESS OF 4 FEET IN HEIGHT REQUIRE DESIGN BY STRUCTURAL ENGINEER. CITY SHALL REVIEW AND APPROVE DESIGN PRIOR TO CONSTRUCTION. INSTALL RAILING OR FENCE AS REQUIRED. REFER TO GEOTECHNICAL REPORT FOR BACKFILL REQUIREMENTS.
- INSTALL CURB AND GUTTER JOINTS AS FOLLOWS:
 - ALIGN JOINTS ACROSS ABUTTING SIDEWALKS, CURBS, AND PAVEMENTS PAYING PARTICULAR ATTENTION TO SPACING OF EXPANSION JOINTS AND SPECIAL SCORING PATTERNS INDICATED ON PLANS.
 - DIVIDE PANELS INTO NOMINALLY EQUAL AREAS WITH CONTRACTION JOINTS UNLESS INDICATED OTHERWISE.
 - SAWN JOINTS ARE PERMITTED ONLY AS INDICATED ON THE PLANS OR TO INCREASE THE DEPTH OF TOOLED CONTRACTION JOINTS FOR THE CONTRACTOR'S CONVENIENCE.
- EXPANSION JOINTS
 - INSTALL TRANSVERSE JOINTS AT THE FOLLOWING NOMINAL INTERVALS
 - SIDEWALKS AND MAINTENANCE STRIPS: 40 FEET
 - CURBS: 60 FEET, 5 FEET EACH SIDE OF CURB DRAIN INLETS, END OF CURVED SECTIONS
 - INSTALL LATERAL JOINTS AGAINST ABUTTING STRUCTURES WHERE CONCRETE IS CONFINED BETWEEN OR PENETRATED WITH RIGID STRUCTURES OR FURNISHINGS SUCH AS BUILDINGS AND STOOPS, PLANTERS, POLE SUPPORTS OR BASES, UTILITIES AND SLEEVES, THICKER PAVEMENT SECTIONS, ETC.
- CONTRACTION JOINTS
 - INSTALL JOINTS AT THE FOLLOWING NOMINAL INTERVALS.
 - SIDEWALKS AND MAINTENANCE STRIPS: 5 FEET
 - CURBS AND APRONS: 10 FEET, 6 FEET ON CURVED SECTIONS
 - TOOL OR SAW JOINTS TO 1/3 THE NOMINAL THICKNESS OF THE PAVEMENT SECTION OR CURB.
- ALL CONCRETE EQUIPMENT PADS SHALL HAVE A SUBBASE INCLUDING 4 FEET OF FREE DRAINING GRANULAR MATERIAL MEETING MNDOT SPEC 3149.
- REFER TO SOIL ENGINEER'S REPORT FOR ALL SOIL CORRECTIONS, PAVEMENT AND SUBBASE REQUIREMENTS AND DIRECTION, AND COMPACTIONS REQUIREMENTS.
- FOR CONSTRUCTION OF NEW PAVED AREAS, ORGANIC SOILS SHALL BE STRIPPED TO A MINIMUM OF 3 FT BELOW PROPOSED PAVEMENT SUBGRADE. SUBGRADE SHALL BE COMPACTED TO A MIN OF 100% STANDARD PROCTOR WITHIN 3 FT OF PROPOSED SUBGRADE AND 95% STANDARD PROCTOR IF BELOW 3 FT.
- PAVEMENT SUBGRADE SHALL BE PROOF ROLLED AND APPROVED BY THE INDEPENDENT GEOTECHNICAL ENGINEER PRIOR TO INSTALLING FINAL PAVEMENT SECTION.
- ANY AFFECTED OR REMOVED PUBLIC R.O.W. PAVEMENT AND CURBING SHALL BE REPLACED WITH THE EQUIVALENT PAVEMENT SECTION.

PAVING NOTES:

- SEE PAVING PLAN

LEGEND:

- EASEMENT LINE
- SETBACK LINE
- PROPERTY LINE
- LIGHT POLE
- ↕ PED RAMP
- TRAFFIC DIRECTIONAL ARROWS (TO BE PAINTED)
- TRAFFIC DIRECTIONAL ARROWS (FOR REFERENCE ONLY)



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Mark Rausch
Signature: *Mark Rausch*
Registration Number: 43480
Date: 5/18/16



RIDGEVIEW HEALTH CAMPUS
Therapy/Fitness Center & Assisted Living

FINAL PUD & PLAT SUBMITTAL
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Project No.	215-0150.0
Drawn By	ELL
Checked By	MPR
Date	5/18/16

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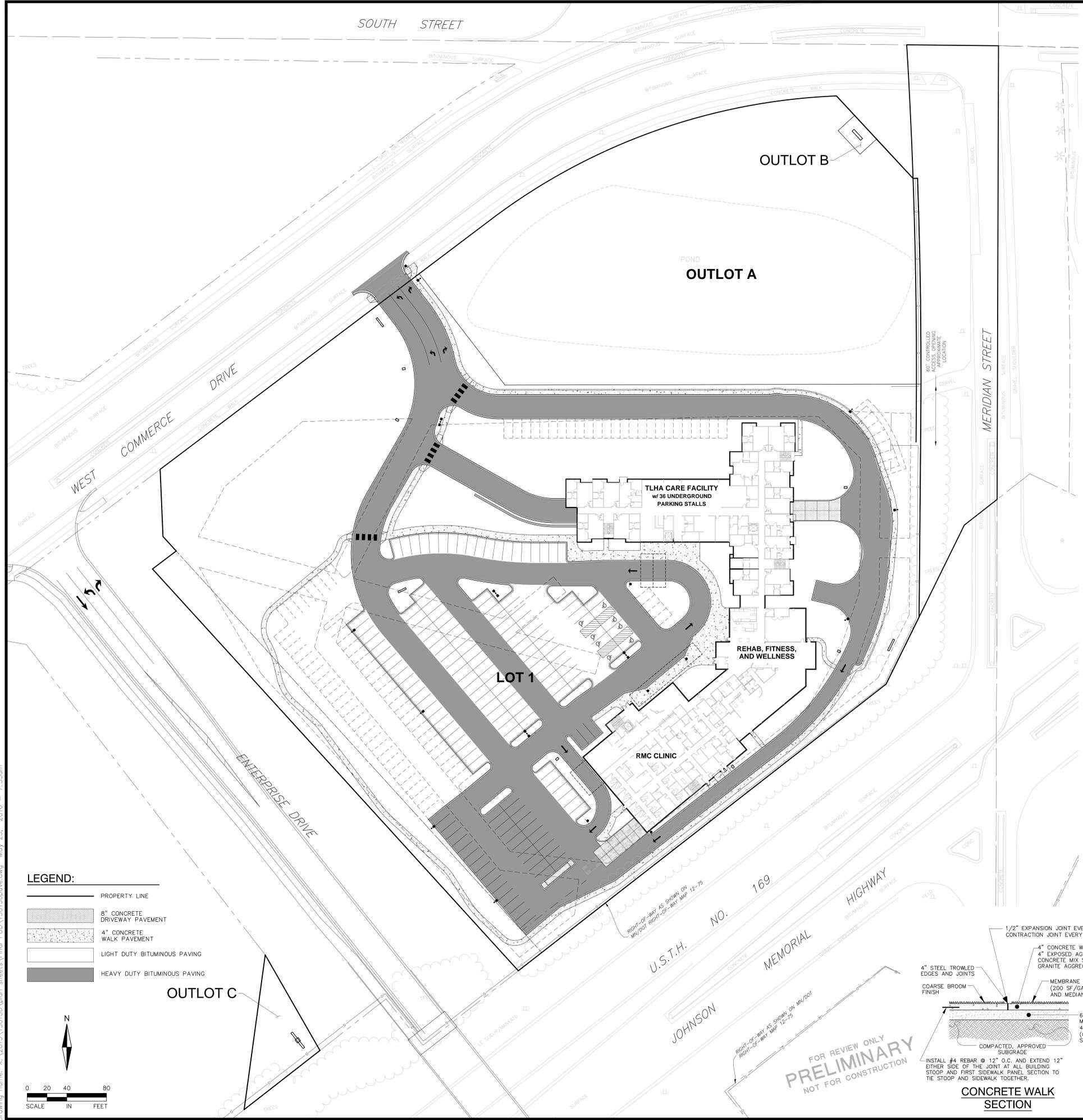
Revisions

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SITE PLAN

C2.0

FOR REVIEW ONLY
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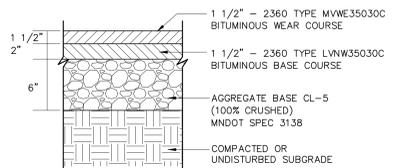


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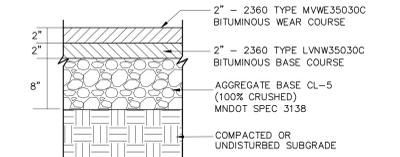
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4. ALL DIMENSIONS, GRADES, EXISTING AND PROPOSED INFORMATION SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO INFORMATION SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
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9. CONTRACTOR SHALL PROVIDE TEMPORARY STREET SIGNS, LIGHTING, AND ADDRESSES DURING CONSTRUCTION PERIOD.
10. ALL CONSTRUCTION AND POST CONSTRUCTION PARKING SHALL BE ON-SITE, NO ON-STREET PARKING/LOADING/UNLOADING ALLOWED.
11. ALL PUBLIC WALKS, TRAILS SHALL NOT BE OBSTRUCTED DURING CONSTRUCTION UNLESS APPROVED BY CITY ENGINEER (EXCEPT FRANCE AVENUE WALK).
12. STORAGE OF MATERIALS OR EQUIPMENT SHALL NOT BE ALLOWED ON PUBLIC STREETS OR WITHIN PUBLIC RIGHT OF WAY.
13. CONTRACTOR TO PROVIDE TEMPORARY TRAFFIC CONTROL IN COMPLIANCE WITH MNDOT "TEMPORARY TRAFFIC CONTROL ZONE LAYOUT-FIELD MANUAL, LATEST EDITION, FOR ANY CONSTRUCTION IN PUBLIC ROW.
14. A FIELD INSPECTION BY OWNERS REPRESENTATIVE, OR 3RD PARTY INSPECTOR OF ALL CURB, SIDEWALK AND PAVEMENT SUBGRADE, STRING LINES AND FORM WORK BY GENERAL CONTRACTOR OR OTHER APPROVED REPRESENTATIVE IS REQUIRED PRIOR TO ANY PAVEMENT INSTALLATION.
15. SEE SITE PLAN FOR CURB AND GUTTER INFORMATION.
16. SEE ARCHITECTURAL SITE PLAN FOR SIDEWALK COLORING AND STAMPING DIRECTION.

PAVING NOTES:

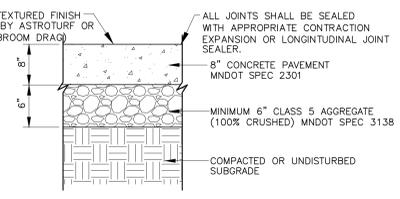
1. AGGREGATE BASE SHALL BE COMPACTED USING SPECIFIED DENSITY METHOD.
2. A FIELD INSPECTION BY OWNERS REPRESENTATIVE, OR 3RD PARTY INSPECTOR OF ALL CURB, SIDEWALK AND PAVEMENT SUBGRADE, STRING LINES AND FORM WORK BY GENERAL CONTRACTOR OR OTHER APPROVED REPRESENTATIVE IS REQUIRED PRIOR TO ANY PAVEMENT INSTALLATION.
3. REFER TO GEOTECHNICAL REPORT FOR ALL SOIL CORRECTION AND COMPACTION REQUIREMENTS AS WELL AS TESTING DIRECTION.
4. ALL CONCRETE DRIVEWAY SHALL BE REINFORCED PER DETAIL.
5. BITUMINOUS PAVEMENT SHALL BE COMPACTED TO AT LEAST 92% OF MAXIMUM THEORETICAL DENSITY.
6. ALL CONCRETE DRIVEWAY PAVEMENT JOINTS SHALL BE SEALED IN ACCORDANCE WITH THE FOLLOWING MNDOT SPECIFICATIONS:
 CONTRACTION JOINTS: HOT POUR JOINT SEALER
 -SEE MNDOT SPEC. 2575
 EXPANSION JOINTS: PERFORMED JOINT FILLER MATERIAL
 -SEE MNDOT SPEC. 3702
 LONGITUDINAL JOINTS: HOT POUR JOINT SEALER
 -SEE MNDOT SPEC. 3723



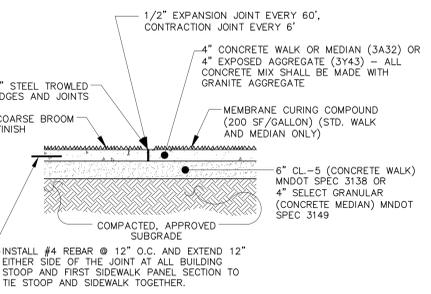
LIGHT DUTY BITUMINOUS PAVEMENT SECTION



HEAVY DUTY BITUMINOUS PAVEMENT SECTION

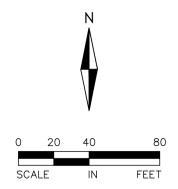


CONCRETE DRIVEWAY SECTION



CONCRETE WALK SECTION

- LEGEND:**
- PROPERTY LINE
 - 8" CONCRETE DRIVEWAY PAVEMENT
 - 4" CONCRETE WALK PAVEMENT
 - LIGHT DUTY BITUMINOUS PAVING
 - HEAVY DUTY BITUMINOUS PAVING



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Certification

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Mark Rausch
 Signature: *Mark Rausch*
 Registration Number: 43480
 Date: 5/18/16



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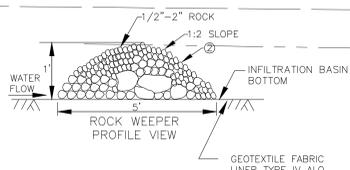
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C3.0

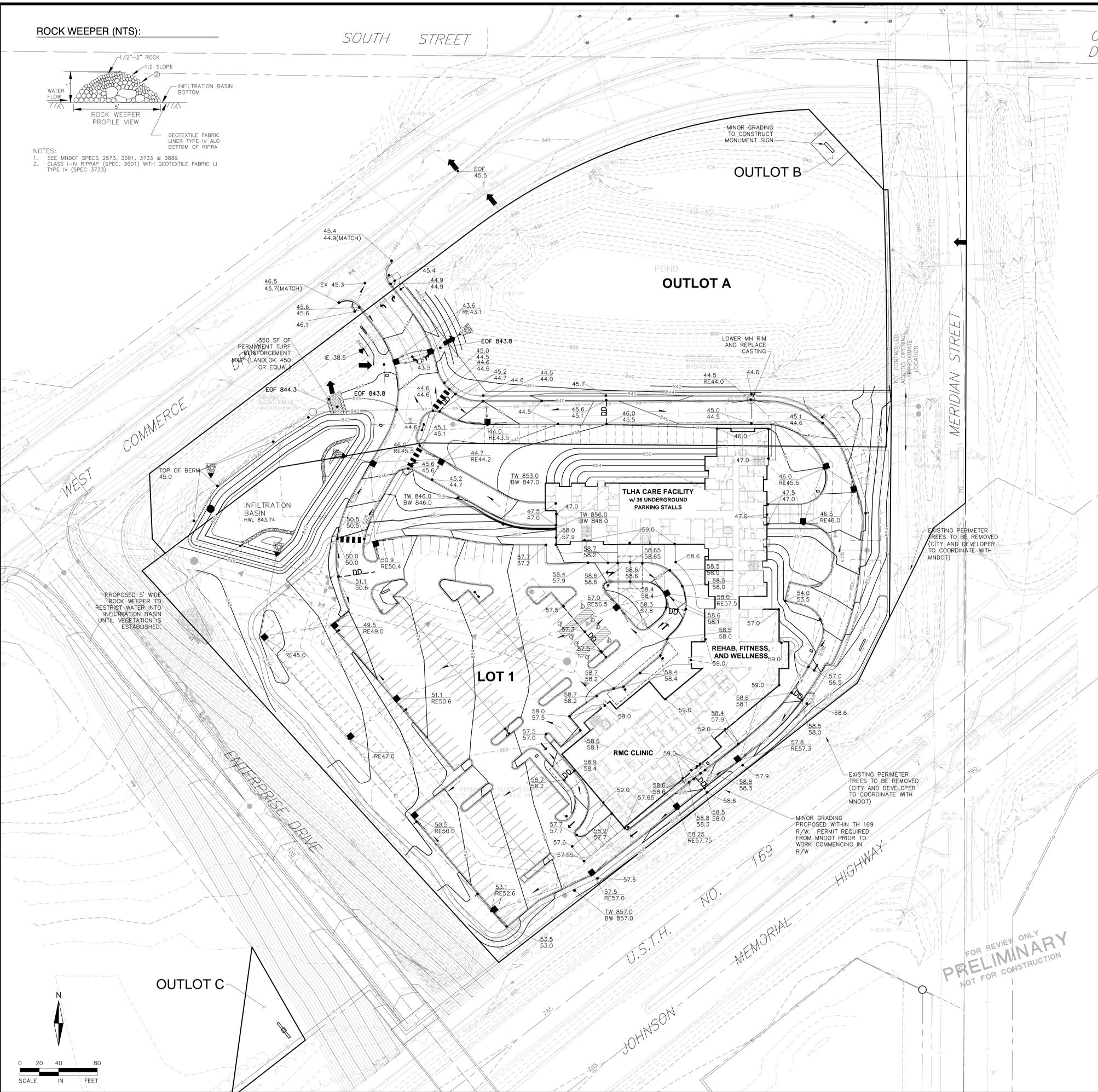
Drawing name: X:\2015\150150\plan_streets\Final_PUD\150150pave.dwg May 25, 2016 7:33am

ROCK WEEPER (NTS):



- NOTES:
 1. SEE MNDOT SPECS 2573, 3601, 3733 & 3889
 2. CLASS I-IV RIPRAP (SPEC. 3601) WITH GEOTEXTILE FABRIC LI TYPE IV (SPEC. 3733)

SOUTH STREET



GRADING NOTES:

- ALL FINISHED GRADES SHALL SLOPE AWAY FROM PROPOSED BUILDINGS AT MINIMUM GRADE OF 2.0% (WHERE FEASIBLE).
- THE CONTRACTOR SHALL KEEP THE ADJACENT ROADWAYS FREE OF DEBRIS AND PREVENT THE OFF-SITE TRACKING OF SOIL IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY AND MNDOT.
- NOTIFY GOPHER STATE ONE CALL, AT (800)252-1166, 48 HOURS PRIOR TO START OF CONSTRUCTION.
- ALL IMPROVEMENTS TO CONFORM WITH CITY OR STATE CONSTRUCTION STANDARDS SPECIFICATION, LATEST EDITION.
- ROCK CONSTRUCTION ENTRANCES SHALL BE PROVIDED AT ALL CONSTRUCTION ACCESS POINTS.
- CONTRACTOR TO KEEP A COPY OF THE EROSION CONTROL PLAN ON SITE AT ALL TIMES.
- REFER TO GEOTECHNICAL REPORT FOR SOIL CORRECTION, TESTING REQUIREMENTS AND FOR PAVEMENT RECOMMENDATIONS AND SUBCUT RECOMMENDATIONS.
- STRIP TOPSOIL PRIOR TO ANY CONSTRUCTION. REUSE STOCKPILE ON SITE. (WHERE FEASIBLE).
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
- IMMEDIATELY FOLLOWING GRADING OF (3:1 OR GREATER) SIDE SLOPES AND DRAINAGE SWALES, WOOD FIBER BLANKET OR OTHER APPROVED SOIL STABILIZING METHOD (APPROVED BY ENGINEER) SHALL BE APPLIED OVER APPROVED SEED MIXTURE AND A MINIMUM OF 4" TOPSOIL.
- THE GENERAL CONTRACTOR MUST DISCUSS DEWATERING PLANS WITH ALL SUBCONTRACTORS TO VERIFY NPDES REQUIREMENTS. IF DEWATERING IS REQUIRED DURING CONSTRUCTION CONTRACTOR SHOULD CONSULT WITH EROSION CONTROL INSPECTOR AND ENGINEER TO DETERMINE APPROPRIATE METHOD.
- HAUL ROUTES AND DISPOSAL AREAS SHOULD BE DISCUSSED WITH CITY OF EDINA PRIOR TO EXPORTING MATERIAL OFF-SITE.
- ALL UTILITY INSTALLATION BACKFILL SHALL BE PLACED AND COMPACTED IN ACCORDANCE WITH SOIL TESTING AGENCY REQUIREMENTS AND/OR SPECIFICATIONS. SOILS REPORT RECOMMENDATIONS INCLUDE PLACING BACKFILL AND FILL IN LIFTS NOT EXCEEDING 8 INCHES IN THICKNESS. THE COMPACTED DENSITY OF THE FILL SHALL BE THE FOLLOWING PERCENTAGES OF STANDARD PROCTOR:
 - BELOW FOUNDATIONS AND INTERIOR SLABS = 98%
 - BELOW EXTERIOR SLABS = 95%
 - WITHIN 3 FEET OF PAVEMENT = 100%
 - BELOW 3 FEET OF PAVEMENT = 95%
 - BELOW LANDSCAPE SURFACES = 90%
 FILL SHOULD BE WITHIN 3 PERCENTAGE POINTS OF ITS OPTIMUM MOISTURE CONTENT, HOWEVER, CLAYEY FILL SHOULD BE PLACED WITHIN 3 PERCENTAGE POINTS ABOVE AND 1 PERCENT BELOW ITS OPTIMUM MOISTURE CONTENT.
- CONTRACTOR SHALL COORDINATE PRIVATE/PUBLIC UTILITIES RELOCATES, SUCH AS TRAFFIC SIGNAL HANDHOLES, AND WIRING, ETC.
- EROSION CONTROL NOTES AND PROCEDURES SHALL BE INCLUDED IN THE CONSTRUCTION DOCUMENTS. SEE SHEET C-6.1 FOR DETAILS.

INFILTRATION BASIN NOTES:

- ALL TEMPORARY EROSION CONTROL DEVICES MUST BE INSTALLED PRIOR TO INSTALLATION/CONSTRUCTION OF INFILTRATION BASIN.
- ALL STORMWATER RUNOFF SHALL BE DIVERTED AWAY FROM FILTRATION AREA TO TEMPORARY SEDIMENT POND UNTIL INFILTRATION BASIN IS COMPLETELY GRADED AND PLANTED.
- CONSTRUCTION OF BASIN SHALL BE SUSPENDED DURING PERIODS OF RAINFALL OR SNOWMELT. CONSTRUCTION SHALL REMAIN SUSPENDED IF PONDED WATER IS PRESENT OR IF RESIDUAL SOIL MOISTURE CONTRIBUTES SIGNIFICANTLY TO THE POTENTIAL FOR COMPACTION.
- COMPACTION AND SMEARING OF THE SOILS BENEATH THE FLOOR AND SIDE SLOPES OF THE INFILTRATION BASIN AREA SHALL BE MINIMIZED. DURING SITE DEVELOPMENT, THE AREA DEDICATED TO THE FILTRATION BASIN SHALL BE CORDONED OFF TO PREVENT ACCESS BY HEAVY EQUIPMENT. ACCEPTABLE EQUIPMENT FOR CONSTRUCTING THE BASIN INCLUDES EXCAVATION HOES, LIGHT EQUIPMENT WITH TURF TIRE TYPES, MARSH EQUIPMENT OR WIDE TRACK LOADERS.
- IF COMPACTION OCCURS AT THE BASE OF THE BASIN, THE SOIL SHALL BE REFRACTURED TO A DEPTH AT LEAST 36" IF SMEARING OCCURS, THE SMEARED AREAS OF THE INTERFACE SHALL BE CORRECTED BY RAKING OR ROTO-TILLING.
- REFER TO SWPPP FOR ADDITIONAL EROSION CONTROL REQUIREMENTS.

RETAINING WALL NOTES:

- RETAINING WALL MASS GRADING PREPARATION
- ALL RETAINING WALLS SHALL BE ROUGH GRADED AT A 2:1 SLOPE WITH BASE OF PREP. SLOPE AT PROPOSED WALL FACE.
 - PROPOSED RETAINING WALL AREAS BETWEEN BUILDING PADS ARE TO BE ROUGH GRADED AT A 2:1 SLOPE WITH BASE OF SLOPE COINCIDING WITH COMMON LOT LINE.
 - THE RETAINING WALL SLOPE AREAS ARE TO BE MAINTAINED UNTIL RETAINING WALL CONSTRUCTION OCCURS. ANY EROSION SHALL BE REMEDIED AND RESTORED.
 - BUILDING PERMITS ARE REQUIRED FOR ALL RETAINING WALLS GREATER THAN 4 FEET IN HEIGHT AND THOSE WALLS SHALL BE DESIGNED BY A STRUCTURAL ENGINEER WITH DESIGN REVIEWED AND APPROVED BY THE CITY PRIOR TO INSTALLATION.
 - INSTALL SAFETY RAILING AS REQUIRED ATOP WALLS.

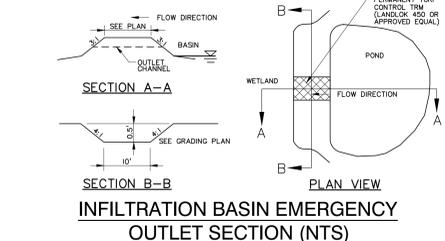
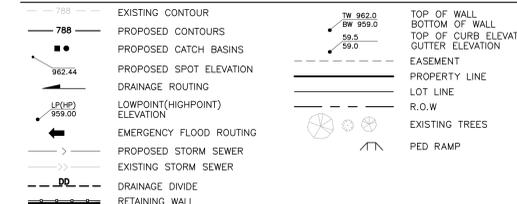
EROSION AND SEDIMENT CONTROL NOTES:

SEE SHEET C5.0, C5.1 FOR EROSION AND SEDIMENT CONTROL PLAN AND NOTES.

STORMWATER DATA:

SITE DATA:
 TOTAL SITE AREA: 10.131 AC
 EXISTING IMPERVIOUS AREA: 0 AC
 PROPOSED IMPERVIOUS AREA: 4.627 AC
 REQUIRED ABSTRACTION VOLUME:
 4,627 AC (201,571 SF) * 1" = 16,798 CF
 PROPOSED INFILTRATION & WATER QUALITY VOLUME:
 PROPOSED INFILTRATION BASIN 33,252 CF
 (0.80 IN/HR INF RATE)

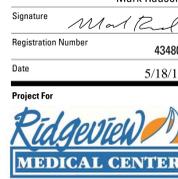
GRADING LEGEND:



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Signature: *Mark Rausch*
 Registration Number: 43480
 Date: 5/18/16
 Project For: **Ridgeway MEDICAL CENTER**



RIDGEVIEW HEALTH CAMPUS
 Therapy/Fitness Center & Assisted Living

FINAL PUD & PLAT SUBMITTAL
 5/18/16

Project No. 215-0150.0
 Drawn By: ELL
 Checked By: MPR
 Date: 5/18/16

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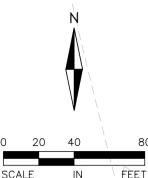
Revisions

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2	5-18-16	FINAL PLAT & PUD SUB

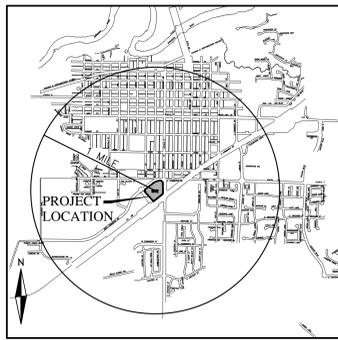
GRADING PLAN

C4.0

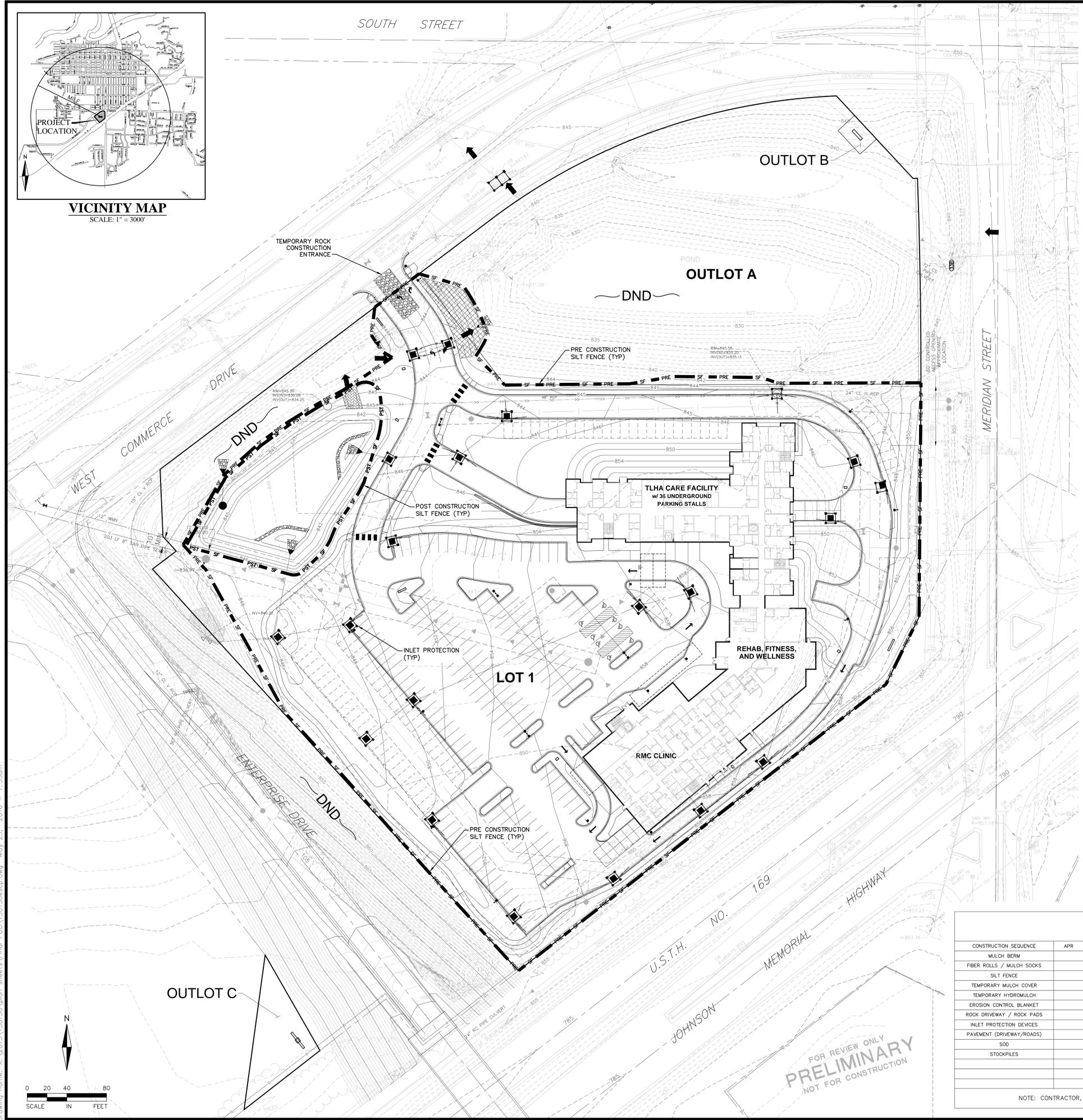
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VICINITY MAP
SCALE: 1" = 3000'



NOTE TO CONTRACTOR:

THE MASS GRADING CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ALL EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMPs) AS SHOWN IN THE RAHR PRESERVE SWPPP (EXCEPT FOR POST GRADE BMPs NEEDED AFTER UTILITY CONSTRUCTION ACTIVITY). THE BMPs ARE TO BE INSTALLED AT A MINIMUM AS SHOWN IN THE PLAN. IF CONDITIONS ARISE, ADDITIONAL BMP SUPPLEMENTATION TO PREVENT SITE EROSION OR SEDIMENT TRANSPORT MAY BE NECESSARY. THE MASS GRADING CONTRACTOR IS RESPONSIBLE FOR ALL BMPs REQUIRED TO COMPLETE THE MASS GRADING ACTIVITIES AND SUBSEQUENT TEMPORARY SOIL STABILIZATION NECESSARY TO PREPARE SITE FOR STREET AND UTILITY CONSTRUCTION AND HOME BUILDING. AT THE COMPLETION OF MASS GRADING WORK AND SATISFACTORY SITE SOIL STABILIZATION, THE DEVELOPER AND MASS GRADING CONTRACTOR SHALL COORDINATE THE TRANSFER OF NPDES PERMIT RESPONSIBILITIES TO THE STREET AND UTILITY CONTRACTOR AND THE CITY.

THE STREET AND UTILITY CONTRACTOR AND CITY WILL THEN ASSUME THE RESPONSIBILITY TO PROVIDE INSPECTION AND MAINTENANCE OF ANY IN-PLACE BMPs AS WELL AS INSTALL THE ADDITIONAL BMPs REQUIRED IN THE STREET AND UTILITY CONSTRUCTION DOCUMENT SWPPP. UPON COMPLETION OF STREET AND UTILITY CONSTRUCTION, THE STREET AND UTILITY CONTRACTOR SHALL REMOVE ANY BMPs INSTALLED DURING THE STREET AND UTILITY PHASE THAT ARE NO LONGER REQUIRED AND COORDINATE THE TRANSFER OF NPDES PERMIT RESPONSIBILITIES BACK TO THE DEVELOPER OR TERMINATE THE PORTION OF THE NPDES PERMIT TRANSFERRED TO THE CITY AND THEIR CONTRACTOR.

CONSTRUCTION SEQUENCING:

- MASS GRADING PHASE:**
1. INSTALL STABILIZED CONSTRUCTION ENTRANCES.
 2. PREPARE TEMPORARY PARKING AND STORAGE AREA.
 3. INSTALL THE PRE-GRADING SILT FENCES AND INLET PROTECTION BMPs ON THE SITE.
 4. CONSTRUCT ALL PRE-GRADING EROSION AND SEDIMENTATION CONTROL BMPs.
 5. COMPLETE MASS GRADING AND INSTALL TEMPORARY AND PERMANENT SEEDING AND PLANTING.
 6. CONSTRUCT POST-GRADING SILT FENCE ON THE SITE.

- STREET & UTILITY PHASE:**
1. INSTALL UTILITIES, UNDERDRAINS, STORM SEWERS, CURBS AND GUTTERS.
 2. INSTALL RIP RAP AROUND OUTLET STRUCTURES.
 3. INSTALL INLET PROTECTION AROUND ALL STORM SEWER STRUCTURES.
 4. PREPARE SITE FOR PAVING.
 5. PAVE SITE.
 6. INSTALL INLET PROTECTION DEVICES.
 7. INSTALL POST STREET AND UTILITY SILT FENCE.
 8. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES (ONLY IF SITE IS STABILIZED), IF REQUIRED BY THE CONTRACT.

SWPPP BMP QUANTITIES (PER PLAN):

STANDARD SILT FENCE	2,933 LF
INLET PROTECTION	23 EA
EROSION CONTROL BLANKET	265 SY
SEED/SOD POST GRADING AREA	4.26 AC

EROSION CONTROL RESPONSIBLE PARTY:

OWNER: RIDGVIEW MEDICAL CENTER	CONTRACTOR: TBD
DEVELOPER: RIDGVIEW MEDICAL CENTER	SWPPP INSPECTION: CONTRACTOR REPRESENTATIVE

NOTE:

1. SEE SHEET C5.1 FOR ALL EROSION AND SEDIMENT CONTROL NOTES AND DETAILS.

LEGEND:

- 789 --- EXISTING CONTOUR
- 789 --- PROPOSED CONTOUR
- PROPOSED RETAINING WALL
- DIRECTION OF DRAINAGE
- PROPOSED CATCH BASIN
- PROPOSED STORM SEWER
- PROPOSED EASEMENT
- PROPERTY LINE
- SETBACK LINE
- LOT LINE
- RIGHT-OF-WAY
- EXISTING VEGETATION LIMITS (APPROX.)
- EXISTING TREE TO REMAIN
- TREE PROTECTION LIMITS
- PROPOSED SILT FENCE (PRE GRADING)
- PROPOSED SILT FENCE (POST GRADING)
- INLET PROTECTION
- DND DO NOT DISTURB AREAS
- TEMPORARY DRAINAGE ROUTING DURING MASS GRADING
- ROCK CONSTRUCTION ENTRANCE
- EROSION CONTROL BLANKET

SEDIMENT BARRIERS

1. SILT FENCE (MNDOT 3886)
2. CURB LOG
3. ROCK WEEPER

INLET PROTECTION DEVICES

1. WIMCO (MNDOT TYPE A & C)
2. INFRASAFE STORM DRAIN/CULVERT
3. SILT SACK (MNDOT TYPE A)
4. DANDY BAG (MNDOT TYPE B)

ANTI-TRACKING CONTROL

1. 2" CRUSHED CLEAR ROCK (LAND DEVELOPMENT)

TEMPORARY SEED MIX

1. MNDOT-100 (CATS 20-120 DAY STABILIZATION)
2. MNDOT-150 (1-2 YEAR STABILIZATION)

PERMANENT SEED MIX/STABILIZATION

1. MNDOT 270 (RESIDENTIAL TURF)
2. SOD

STABILIZATION BMP'S

1. STRAW/HAY
2. MNDOT TYPE 1 MULCH
3. EROSION CONTROL BLANKET
4. MNDOT CAT. 3
5. HYDROMULCH
6. MNDOT TYPE 5
7. TURF REINFORCEMENT MAT
8. SC250 NORTH AMERICAN GREEN OR EQUAL--MNDOT CAT. 6

GRADING ACTIVITY

1. CONCRETE WASHOUT IS DONE BY TRUCK WITH A MOBILE WASHOUT SYSTEM PROVIDED AND COMPLETED BY THE CONCRETE CONTRACTOR.

ACTIVE SWPPP SCHEDULE

CONSTRUCTION SEQUENCE	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	JAN	FEB	MAR	APR
MULCH BERM													
FIBER ROLLS / MULCH SOCKS													
SILT FENCE													
TEMPORARY MULCH COVER													
TEMPORARY HYDROMULCH													
EROSION CONTROL BLANKET													
ROCK DRIVEWAY / ROCK PADS													
INLET PROTECTION DEVICES													
PAVEMENT (DRIVEWAY/ROADS)													
SOD													
STOCKPILES													

NOTE: CONTRACTOR, GENERAL CONTRACTOR OR SWPPP INSPECTOR TO COMPLETE TABLE AS GRADING PROGRESSES

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Certification

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Mark Rausch
Signature
Registration Number 43480
Date 5/18/16



RIDGVIEW HEALTH CAMPUS

Therapy/Fitness Center & Assisted Living

FINAL PUD & PLAT SUBMITTAL 5/18/16

Project No.	215-0150.0
Drawn By	ELL
Checked By	MPR
Date	5/18/16

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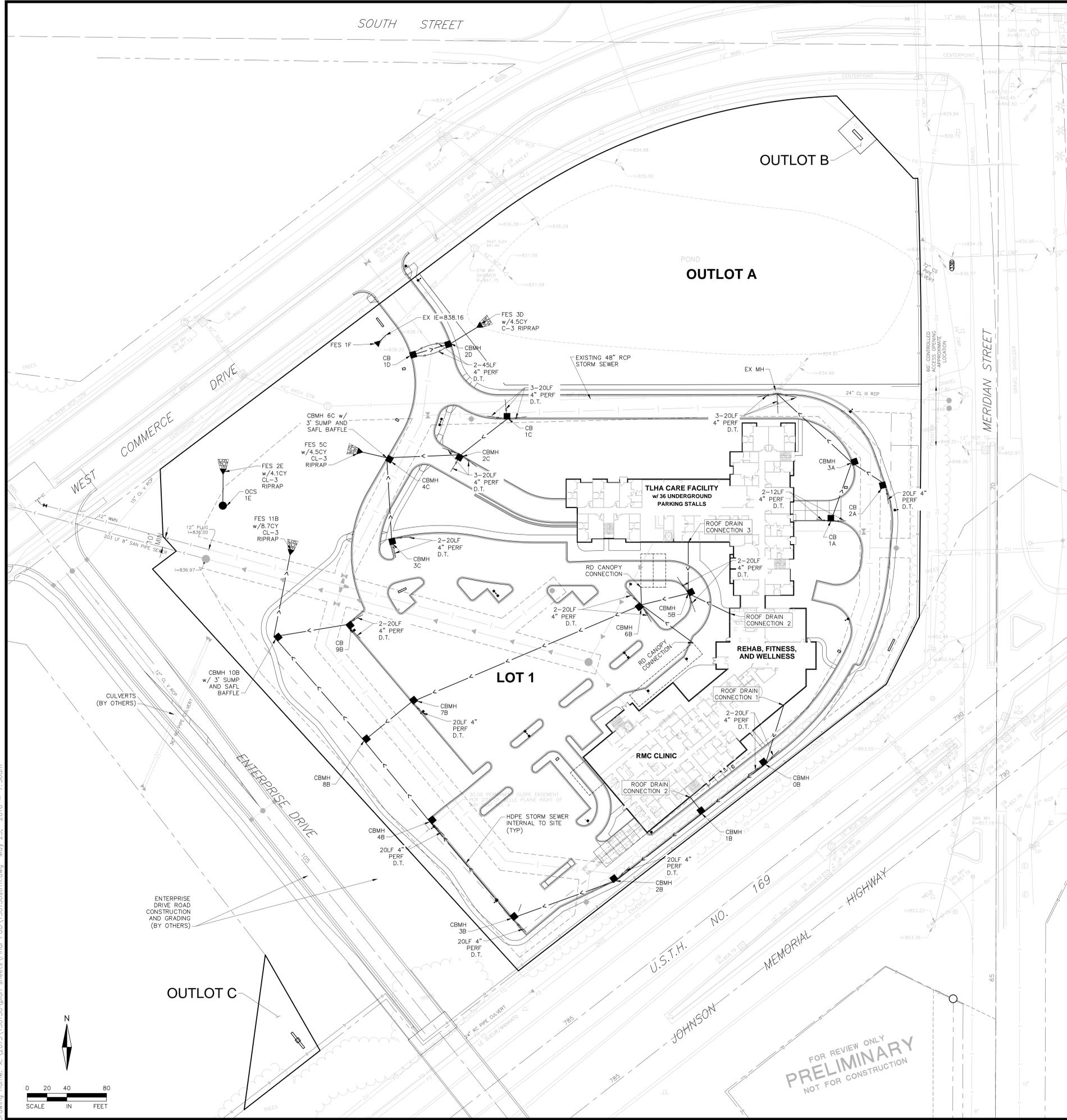
Revisions

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4-18-16	PRELIM PLAT & PUD SUB	
1	4-29-16	DL & ESMT ADD
2	5-18-16	FINAL PLAT & PUD SUB

EROSION AND SEDIMENT CONTROL PLAN

C5.0

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- GENERAL NOTES:**
1. CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS PRIOR TO THE START OF CONSTRUCTION.
 2. ALL CONSTRUCTION AND POST CONSTRUCTION PARKING SHALL BE ON-SITE, NO ON-STREET PARKING/LOADING/UNLOADING ALLOWED.
 3. ALL PUBLIC SIDEWALKS/TRAILS SHALL NOT BE OBSTRUCTED.
 4. STORAGE OF MATERIALS OR EQUIPMENT SHALL NOT BE ALLOWED ON PUBLIC STREETS OR WITHIN PUBLIC RIGHT OF WAY.
 5. REFER TO EROSION CONTROL PLAN. ALL EROSION CONTROL MEASURES MUST BE IN PLACE PRIOR TO UTILITY CONSTRUCTION.
 6. ALL PROJECT RELATED UTILITIES WILL BE PRIVATELY OWNED.
 7. NOTIFY GOPHER STATE ONE CALL 48 HOURS IN ADVANCE OF ANY CONSTRUCTION TO VERIFY LOCATION OF ALL PRIVATE UTILITIES.
 8. PROVIDE TEMPORARY TRAFFIC CONTROL IN COMPLIANCE WITH MNDOT "TEMPORARY TRAFFIC CONTROL ZONE LAYOUTS-FIELD MANUAL" LATEST REVISION, FOR ANY CONSTRUCTION WITHIN PUBLIC R.O.W.

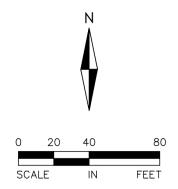
- STORM NOTES:**
1. EXISTING UTILITIES, SERVICE LOCATIONS AND ELEVATIONS SHALL BE VERIFIED BY CONTRACTOR IN FIELD PRIOR TO CONSTRUCTION. ANY DISCREPANCIES TO PLANS SHALL BE IMMEDIATELY DISCUSSED WITH OWNER AND ENGINEER PRIOR TO COMMENCING ON PROPOSED WORK.
 2. MAINTAIN A MIN 18" VERTICAL CLEARANCE AT ALL PIPE CROSSINGS.
 3. PROVIDE POLYSTYRENE (4" THICK) INSULATION FOR ALL WATERMAIN AND STORM SEWER CROSSINGS WHERE VERTICAL OR HORIZONTAL SEPARATION IS LESS THAN 36".
 4. CONTRACTOR TO PROVIDE COORDINATION FOR TELEPHONE, GAS, AND ELECTRIC SERVICE CONNECTION WITH THE RESPECTIVE SERVICE COMPANY.
 5. IF DEWATERING IS REQUIRED DURING CONSTRUCTION CONTRACTOR SHOULD CONSULT WITH EROSION CONTROL INSPECTOR AND ENGINEER TO DETERMINE APPROPRIATE METHOD.
 6. ALL UTILITY INSTALLATIONS SHALL COMPLY WITH THE CITY OF BELLE PLAINE STANDARD DETAILS AND ENGINEERING GUIDELINES.
 7. ALL UTILITY INSTALLATION BACKFILL SHALL BE PLACED AND COMPACTED IN ACCORDANCE WITH SOIL TESTING AGENCY REQUIREMENTS AND/OR SPECIFICATIONS. SOILS REPORT RECOMMENDATIONS INCLUDE PLACING BACKFILL AND FILL IN LIFTS NOT EXCEEDING 8 INCHES IN THICKNESS. THE COMPACTED DENSITY OF THE FILL SHALL BE THE FOLLOWING PERCENTAGES OF STANDARD PROCTOR:
 - BELOW FOUNDATIONS = 100%
 - WITHIN 3 FEET OF PAVEMENT = 100%
 - BELOW 3 FEET OF PAVEMENT = 98%
 - BELOW LANDSCAPE SURFACES = 95%
 FILL SHOULD BE WITHIN 2 PERCENTAGE POINTS OF ITS OPTIMUM MOISTURE CONTENT, HOWEVER, CLAYEY FILL SHOULD BE PLACED WITHIN 3 PERCENTAGE POINTS ABOVE AND 1 PERCENT BELOW ITS OPTIMUM MOISTURE CONTENT.
 8. CONTRACTOR TO INSTALL SAFL BAFFLE ON LAST CB'S BEFORE POND.

- LEGEND:**
- - - PROPOSED STORM SEWER
 - - - PROPOSED 4" DRAINILE
 - - - PROPOSED SANITARY SEWER
 - - - PROPOSED WATERMAIN
 - PROPOSED CATCH BASIN
 - PROPOSED SANITARY/STORM MANHOLE
 - PROPOSED HYDRANT
 - EXISTING SANITARY MANHOLE
 - EXISTING STORM MANHOLE/CATCH BASIN
 - EXISTING HYDRANT
 - EXISTING GAS
 - EXISTING STORM SEWER
 - - - EXISTING SANITARY SEWER
 - - - EXISTING WATERMAIN
 - - - EXISTING UNDERGROUND ELECTRIC
 - - - EXISTING UNDERGROUND TELEPHONE

DESIGN STORM FREQUENCY = 10 YEARS

FROM	TO	P. DIA D (IN)	P. SLOPE S (FT./FT)	P. TYPE	PIPE LENGTH (FT)	FROM INVERT	TO INVERT	RIM ELEV	STR. TYPE	CAST TYPE
CB 1A	CBMH 3A	12	0.0100	HDPE	63.2	842.30	841.67	846.00	2x3	R-3067-V
CB 2A	CBMH 3A	12	0.0050	HDPE	40.8	841.67	841.46	846.00	2x3	R-3067-V
CBMH 3A	EX MH	12	0.0160	HDPE	102.8	841.36	839.72	845.50	48	R-3067-V
EX MH	EX FLS	48	0.0055	RCP	40.1	835.13	834.91	844.00		R-3067-V
RD 1	CBMH 6B	10	0.0200	HDPE	62.8	854.00	852.74		RD	RD
CBMH 6B	CBMH 1B	12	0.0050	HDPE	80.6	852.74	852.34	857.30	48	R-3067-V
RD 2	CBMH 1B	10	0.0500	HDPE	20.4	854.00	852.98		RD	RD
CBMH 1B	CBMH 2B	12	0.0050	HDPE	111.8	852.34	851.78	857.75	48	R-3067-V
CBMH 2B	CBMH 3B	12	0.0300	HDPE	111.5	851.78	848.44	857.00	48	R-3067-V
CBMH 3B	CBMH 4B	12	0.0200	HDPE	130.0	848.44	845.84	852.60	48	R-3067-V
CBMH 4B	CBMH 8B	12	0.0300	HDPE	105.8	845.84	842.66	850.00	48	R-3067-V
RD 2	CBMH 5B	10	0.0200	HDPE	45.9	854.00	853.08		RD	RD
RD 3	CBMH 5B	10	0.0200	HDPE	51.9	854.00	852.96		RD	RD
CBMH 5B	CBMH 6B	12	0.0200	HDPE	48.5	852.96	851.99	857.30	48	R-3067-V
CBMH 6B	CBMH 7B	12	0.0210	HDPE	252.2	851.99	846.70	856.50	48	R-3067-V
CBMH 7B	CBMH 8B	12	0.0550	HDPE	61.8	846.70	843.20	850.60	48	R-3067-V
CBMH 8B	CBMH 10B	18	0.0200	HDPE	139.5	842.80	840.01	847.00	48	R-4342
CB 9B	CBMH 10B	12	0.0500	HDPE	73.5	845.30	841.63	849.00	48	R-3067-V
CBMH 10B	FES 11B	27	0.0035	RCP	89.9	839.35	839.04	845.00	48	R-4342
CB 1C	CBMH 2C	12	0.0045	HDPE	58.9	939.90	939.63	943.50	2x3	R-3067-V
CBMH 2C	CBMH 4C	12	0.0045	HDPE	74.7	939.53	939.20	944.20	48	R-3067-V
CB 3C	CBMH 4C	12	0.0400	HDPE	82.2	942.90	939.61	950.40	48	R-3067-V
CBMH 4C	FES 5C	15	0.0035	RCP	30.1	939.11	939.00	945.50	48	R-3067-V
CB 1D	CBMH 2D	12	0.0100	HDPE	42.8	839.70	839.27	843.40	2x3	R-3067-V
CBMH 2D	FLS 3D	15	0.0050	RCP	35.9	836.70	836.52	843.40	48	R-3067-V
OCS 1E	FLS 2E	12	0.0081	RCP	37.2	839.30	839.00	842.20	48	R-4342
FES 1F	(EX 24" STUB)	24	0.0250	RCP	13.6	938.50	938.16			

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STORM MANAGEMENT PLAN

C6.0